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MISSOURI DEPARTMENT  
OF TRANSPORTATION

Eldon Maintenance Building Siding & Reroof  
Central District  
30 Highway 'Y'  
Miller County

CODE REQUIREMENTS

BUILDING CODE - CURRENT IBC

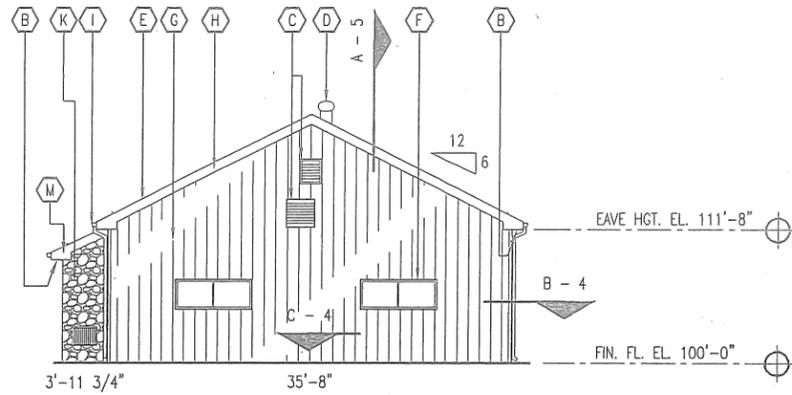
COVER SHEET

MISSOURI DEPARTMENT  
OF TRANSPORTATION  
DIVISION OF GENERAL SERVICES  
FACILITIES MANAGEMENT

Eldon Maintenance Building Siding & Reroof  
30 Highway 'Y' - Miller County  
CENTRAL DISTRICT

DESIGN BY: LARRY CARVER  
DATE: 1-28-16

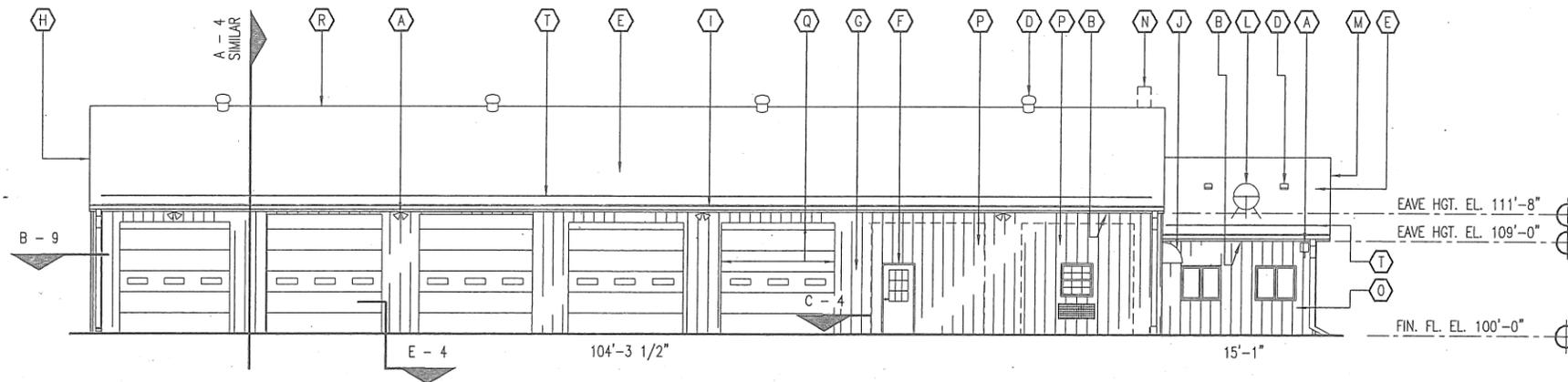
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**B**  
2 LEFT ELEVATION  
SCALE: 1/16" = 1'-0"

**CONTRACTOR NOTES:**

- A** MODOT IS TO REMOVE AND REPLACE ALL SURFACE MOUNTED COMMUNICATION APPURTENANCES, SOFFIT AND SURFACE LIGHTING DURING CONSTRUCTION. UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE BLOCKING AS REQUIRED FOR THE DEVICES.
- B** REMOVE EXISTING SOFFIT AND DISCARD OFF-SITE. PROVIDE & INSTALL PREFINISHED VENTED ALUMINUM SOFFIT. (TYPICAL)
- C** REMOVE AND REINSTALL AS FUNCTIONAL LOUVER DURING CONSTRUCTION.
- D** REMOVE TURBINES. ADD WOOD BLOCKING TO BE FLUSH WITH ROOF SLOPE.
- E** REMOVE EXISTING SHINGLES & FELT PAPER DOWN TO THE EXISTING ROOF SHEATHING. DISCARD ALL THE DEBRIS OFF-SITE. INSTALL 26 GA. PREFINISHED METAL SHEET ROOFING ON ONE LAYER OF 30LB. SYNTHETIC FELT PAPER & 36" OF ICE & WATER PROTECTION UP THE ROOF FROM GUTTER EDGE. (TYPICAL)
- F** BOX 2 x 4 FURRING AND TRIM AS REQUIRED AROUND ALL EXISTING WINDOWS, SILLS, DOORS, EXHAUST FANS AND HVAC EQUIPMENT ETC.
- G** NEW 26 GA. PREFINISHED METAL SIDING OVER TYVEK OR EQUAL BUILDING WRAP OVER 1-1/2" INSULATION BOARD GLUED BETWEEN FURRING STRIPS. 2 x 4 HORIZONTAL STRIPS @ 36" O.C. MAXIMUM. SEE DETAIL SHEETS.
- H** PROVIDE NEW METAL FASCIA TRIM OVER EXISTING WOOD FASCIA TRIM. COLOR PICKED BY OWNER. (TYPICAL)
- I** REMOVE EXISTING DOWNSPOUTS AND GUTTERS. DISCARD OFF-SITE. PROVIDE NEW PREFINISHED ALUMINUM DOWNSPOUTS, GUTTERS AND FASCIA TRIM. ADD SPLASH BLOCK AT EACH DOWNSPOUT OR ROUTE INTO STORM DRAIN. MATCH THE EXISTING CONDITION.
- J** CONTRACTOR TO REMOVE AWNING DURING CONSTRUCTION. RETURN TO MODOT TO PAINT. CONTRACTOR TO ADD BLOCKING AS REQUIRED AND REINSTALL AWNING. ADD GASKET TO TOP OF THE AWNING AND BETWEEN THE RIBS TO PREVENT LEAKING.
- K** EXISTING ROCK VENEER TO REMAIN.
- L** CONTRACTOR TO REMOVE EXISTING SATELLITE DISH/ANTENNA & RETURN TO OWNER.
- M** REMOVE EXISTING METAL FASCIA AND ADD NEW METAL FASCIA TRIM.
- N** CONTRACTOR TO REMOVE EXISTING BRICK CHIMNEY TO JUST BELOW ROOF. INSTALL PLYWOOD SHEATHING AND BLOCKING AS REQUIRED TO COVER HOLE.
- O** CONTRACTOR TO REMOVE EXISTING METAL SIDING AND INSTALL NEW SIDING OVER THE EXISTING SUBSTRATE. ADD CORNER AND ASSOCIATED TRIM.
- P** CONTRACTOR TO REMOVE EXISTING VINYL SIDING IN OLD GARAGE DOOR OPENING OR WINDOW OPENING. DISCARD DEBRIS OFF-SITE. (TYPICAL) PROVIDE BLOCKING AS REQUIRED FOR NEW METAL SIDING TO BE CONTINUOUSLY FLUSH. EXISTING WINDOWS, DOORS AND PTAC UNIT TO REMAIN.
- Q** CONTRACTOR TO REMOVE EXISTING 2x GARAGE DOOR JAMB AND HEAD. ADD NEW 2x GARAGE DOOR JAMB AND HEAD MATCHING EXISTING DEPTH. WRAP WITH NEW CONTINUOUS METAL TRIM. REMOVE OLD WEATHER STRIPING AND REPLACE WITH NEW. TYPICAL AT ALL GARAGE DOORS.
- R** TRIM WOOD ROOF PEAK TO ADD VENTED RIDGE CAP TO BE OPERABLE FOR THE ATTIC SPACE.
- S** BOX 2 x 4 FURRING AND TRIM AS REQUIRED AROUND ALL THESE EXISTING UTILITY ENTRANCES ON AS REQUIRED FOR NEAT APPEARANCE. ALL UTILITY ENTRANCES TO REMAIN AS IS.
- T** PROVIDE AND INSTALL CONTINUOUS SNOW GUARD.
- U** REMOVE AND REINSTALL VENTS AS FUNCTIONAL DURING CONSTRUCTION.



**A**  
2 FRONT ELEVATION  
SCALE: 1/16" = 1'-0"

**FRONT & LEFT ELEVATIONS**

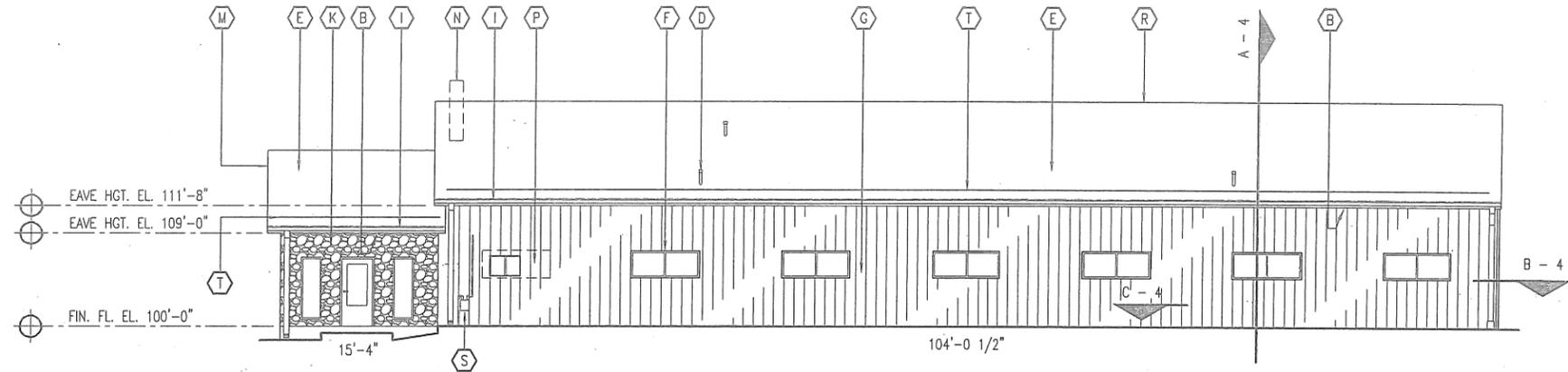
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FACILITIES MANAGEMENT

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30 Highway 'Y' - Miller County  
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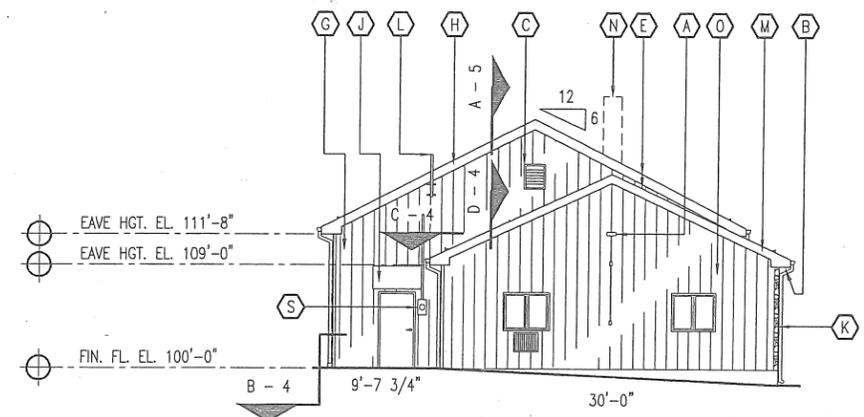
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**B**  
3 REAR ELEVATION  
SCALE: 1/16" = 1'-0"

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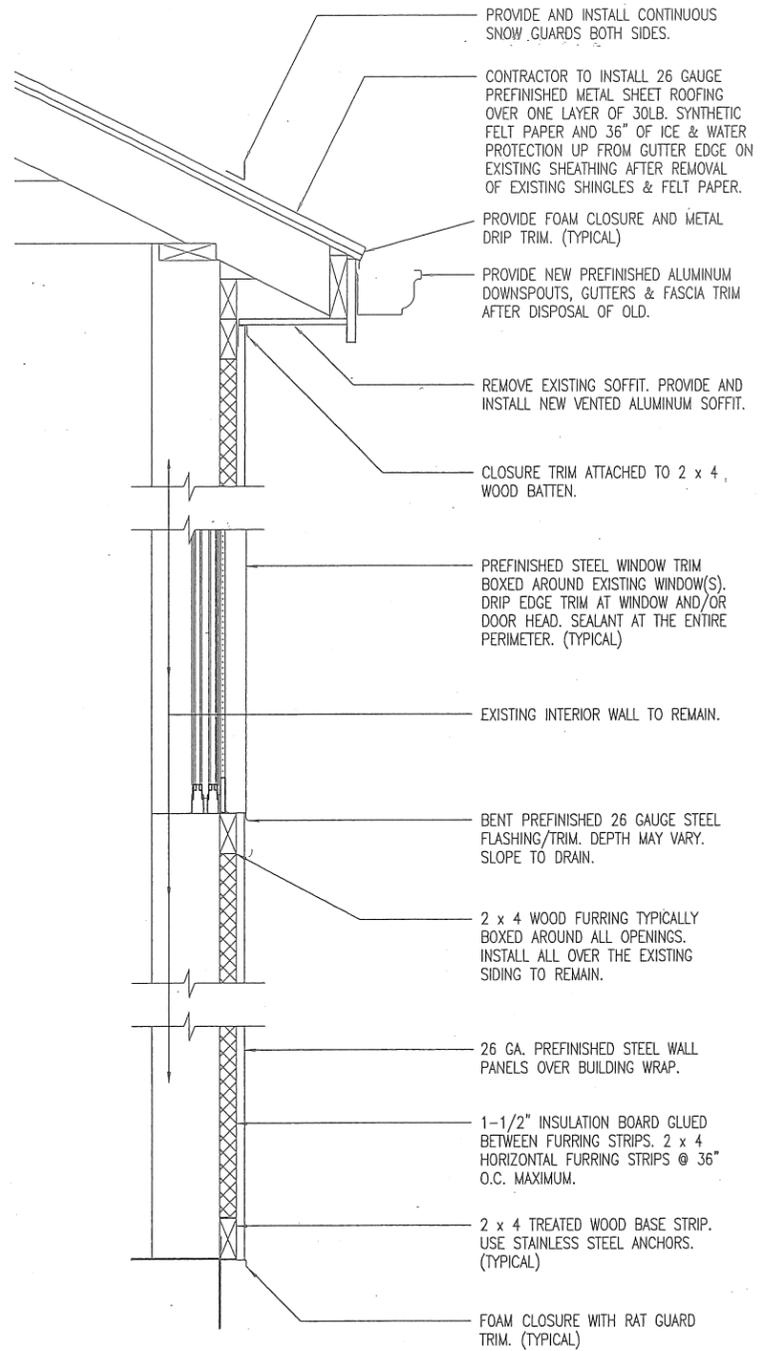
**A**  
3 RIGHT ELEVATION  
SCALE: 1/16" = 1'-0"  
SMALLER OFFICE ADDITION HAS 5:12 ROOF PITCH.

REAR & RIGHT ELEVATIONS

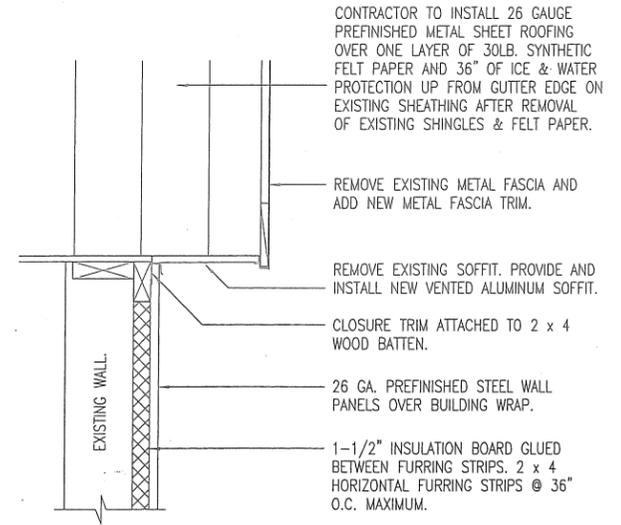
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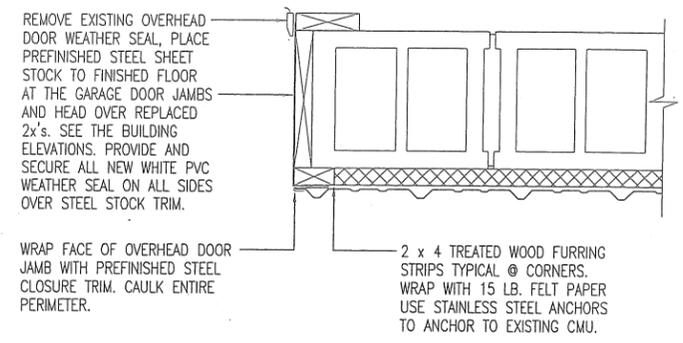
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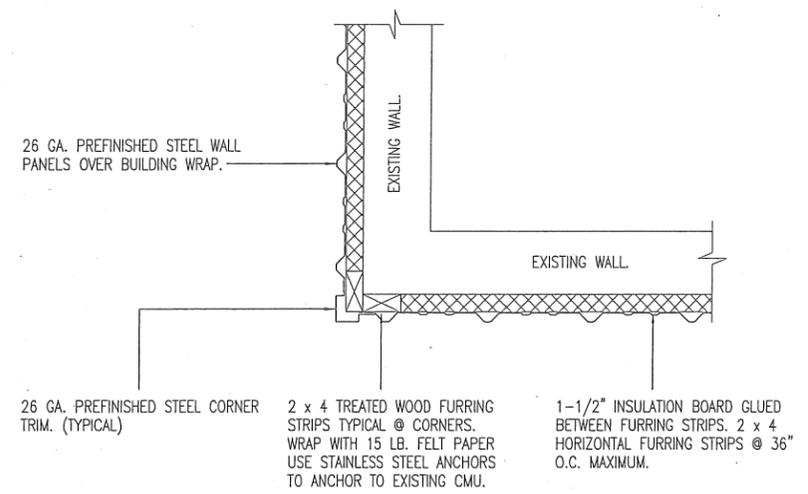
**A** METAL SIDING  
**WALL SECTION**  
4 SCALE: 3/4" = 1'-0"



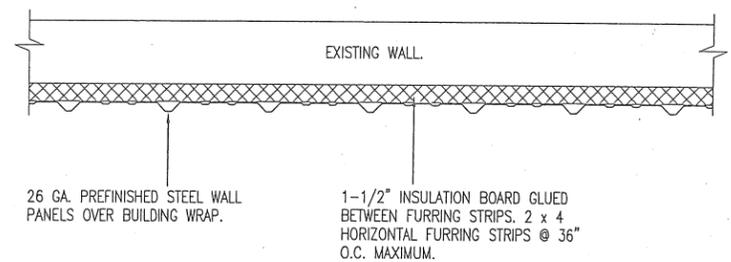
**D** GABLE END WALL  
4 SCALE: 3/4" = 1'-0"



**E** OVERHEAD DOOR JAMB  
4 SCALE: 3/4" = 1'-0"



**B** CORNER PLAN VIEW  
4 SCALE: 3/4" = 1'-0"



**C** WALL PLAN VIEW  
4 SCALE: 3/4" = 1'-0"

DETAILS

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**GENERAL NOTES**

CONTRACTOR TO PROVIDE SUFFICIENT BLOCKING AS REQUIRED FOR LIGHTING FIXTURES, CONDUITS, VENTS, METERS ETC. WHEN REMOVING DURING CONSTRUCTION.

SIDING COLOR AS SELECTED FROM MANUFACTURER'S STANDARD COLOR CHART BY THE MODOT FIELD REPRESENTATIVE.

ALL DEBRIS TO BE REMOVED OFF-SITE.

WHEN INSTALLING THE NEW METAL EXTERIOR WINDOW SILLS AND JAMB TRIM, THE CONTRACTOR IS TO REMOVE ALL OLD SEALANT, INSTALL TRIM AND RESEAL. COLOR TO MATCH TRIM COLOR.

PROVIDE CONTINUOUS 26 GA. PREFINISHED STEEL DRIP EDGE AT ALL DOOR, PASSAGE OPENINGS, WINDOW HEADS, ABOVE THE HVAC UNITS AND EXHAUST FANS.

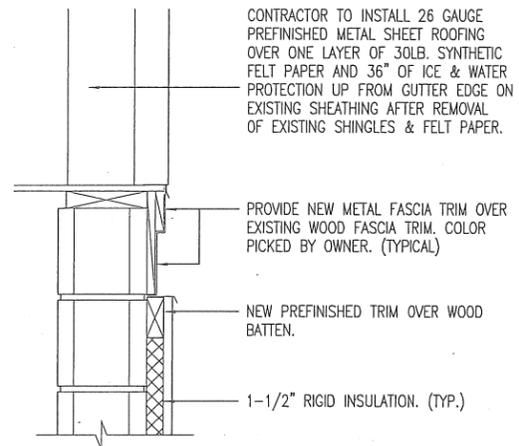
CONTRACTOR RESPONSIBLE TO REPAIR LAWN AREA WITH TOPSOIL, SEED AND STRAW IF DAMAGED DURING CONSTRUCTION.

CONTRACTOR TO RE-FLASH EXISTING ROOF PENETRATIONS AS REQUIRED FOR WATER TIGHTNESS.

CONTRACTOR TO REPLACE ROTTEN WOOD FASCIA BOARDS (FIELD VERIFY) AS REQUIRED WITH NEW TO MATCH BEFORE PLACING METAL FASCIA OVER IT.

CONTRACTOR TO USE STEP FLASHING WHERE LOWER ROOF BUTTS INTO EXTERIOR WALL BEFORE PLACING OF NEW SIDING.

MODOT TO COORDINATE WITH CONTRACTOR DURING CONSTRUCTION THE INSERTING OF THE DOWNSPOUTS INTO NEW STORM SEWER PVC DRAINAGE.



**A** GABLE END WALL  
5 SCALE: 3/4" = 1'-0"

**DETAILS**

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