

CHAPTER 1: ADMINISTRATION

BUILDING CODE
2006 INTERNATIONAL BUILDING CODE
IBC 101.4 REFERENCED CODES: ICC ELECTRICAL CODE, INTERNATIONAL FUEL GAS CODE, INTERNATIONAL MECHANICAL CODE, INTERNATIONAL PLUMBING CODE, INTERNATIONAL PROPERTY MAINTENANCE CODE, INTERNATIONAL FIRE CODE, AND THE INTERNATIONAL ENERGY CONSERVATION.

BUILDING AUTHORITY
BUILDING REGULATIONS DIVISION, DEPT. OF COMMUNITY DEVELOPMENT - CITY OF JEFFERSON, MO.

DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:
IBC 106.3.4.1 GENERAL: THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF THIS PROJECT IS MATTHEW J. RIMILLER, PRINCIPAL ARCHITECT OF RIMILLER ARCHITECTS LLC. THE RDP IS RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.
IBC 106.3.4.2 DEFERRED SUBMITTALS: THE FOLLOWING PORTIONS OF THE DESIGN WILL NOT BE SUBMITTED AT THE TIME OF APPLICATION, BUT SHALL BE SUBMITTED TO THE BUILDING OFFICIAL WITHIN A PERIOD SPECIFIED MoDOT REPRESENTATIVE:
1. AUTOMATIC SPRINKLER SYSTEM

CHAPTER 2: DEFINITIONS

CONTRACTOR SHALL MAINTAIN ACCESS TO THE 2006 INTERNATIONAL BUILDING CODE FOR DEFINITIONS OF TERMS THAT MAY APPEAR IN THESE DOCUMENTS.

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

OCCUPANCY USE GROUP: MIXED USE (SEPARATED) B BUSINESS, S-1 MODERATE HAZARD STORAGE; S-2 LOW HAZARD STORAGE

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY

NONE

CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS

TYPE IIB CONSTRUCTION	ALLOWABLE TABLE 503	+	AREA INCREASE SPRINKLER %	+	AREA INCREASE FRONTAGE %	=	TOTAL AREA ALLOWABLE AFTER INCREASES
USE GROUP B	23,000		46,000		17,250		86,250 SQ. FT.
USE GROUP S-1	17,500	+	35,000	+	13,125	=	65,625 SQ. FT.
USE GROUP S-2	26,000		52,000		19,500		97,500 SQ. FT.

PROPOSED BLDG HEIGHT AND AREA THESE DOCUMENTS:
BLDG. IS 2 STORIES,
BLDG. HEIGHT IS 24'-0",
SEE CHART OF RATIOS FOR FLOOR AREA

CHART OF RATIOS				
B	S-1	S-2	SUM OF RATIOS	
SECOND FL.	0.231	0.11		0.11
FRST FL.	0.250	0.31	25.442	19.415
	0.250	0.31	65.625	97.500

*SECTION 508.3.3.2 - SUM OF RATIOS SHALL NOT EXCEED A VALUE OF 1 (FOR EACH FLOOR).

CHAPTER 6: TYPES OF CONSTRUCTION

FIRE RATINGS FOR BUILDING ELEMENTS - IIB CONSTRUCTION TYPE (TABLE 601)		
STRUCTURAL FRAME (INCLUDING COLUMNS GIRDERS AND TRUSSES)		0 HR.
	WHEN SUPPORTING ROOF ONLY	0 HR.
BEARING WALLS separation distance = x	EXTERIOR - SEPARATION DISTANCE: x ≥ 30. (TABLE 602)	0 HR.
	INTERIOR	0 HR.
NON-BEARING WALLS AND PARTITIONS separation distance = x	EXTERIOR - SEPARATION DISTANCE: x ≥ 30. (TABLE 602)	0 HR.
	INTERIOR	0 HR. U.N.O.
FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)		0 HR.
ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)		0 HR.

CHAPTER 7 FIRE-RESISTANT MATERIALS & CONSTRUCTION

EXTERIOR WALLS - FIRE RESISTANCE RATING (SECTION 704)

704.5 - FIRE RESISTANCE RATINGS: SEE CHAPTER 6
704.8 - ALLOWABLE AREA OF OPENINGS:

PLAN NORTH SIDE: NO LIMIT OF UNPROTECTED OPENINGS
PLAN SOUTH SIDE: NO LIMIT OF UNPROTECTED OPENINGS
PLAN WEST SIDE: NO LIMIT UNPROTECTED OPENINGS
PLAN EAST SIDE: NO LIMIT TO UNPROTECTED OPENINGS

FIRE WALLS - FIRE RESISTANCE RATING (SECTION 705.4)

MIXED OCCUPANCIES: NONSEPARATED	NOT REQ'D.
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FIRE BARRIERS - FIRE RESISTANCE RATING (SECTION 706.3)

SHAFT ENCLOSURES (SECTION 707.4.)	1 HR
EXIT ENCLOSURES (SECTION 1020.1)	ELEVATORS CONNECTING LESS THAN 4 STORIES UNENCLOSED STAIRS PER 1020.1-EXCEPTION 9
	1 HR NOT REQ'D.

NOTE:1020.1.2 PENETRATIONS ARE PROHIBITED EXCEPT:
EXIT DOORS, EQUIPMENT AND DUCTWORK NECESSARY FOR INDEPENDENT PRESSURIZATION,
SPRINKLER PIPING, STANDPIPES, ELECTRICAL RACEWAY FOR FIRE DEPT. COMMUNICATION AND ELECTRICAL RACEWAY SERVING THE EXIT PASSAGEWAY AND TERMINATING AT A STEEL BOX NOT TO EXCEED 16 SQ. INCHES. SEE PENETRATION DETAILS.

EXIT PASSAGEWAY (SECTION 1021.3)	*NOT LESS THAN THAT REQUIRED FOR ANY CONNECTING EXIT ENCLOSURE	N/A
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NOTE:1021.5 PENETRATIONS ARE PROHIBITED EXCEPT:
EXIT DOORS, EQUIPMENT AND DUCTWORK NECESSARY FOR INDEPENDENT PRESSURIZATION,
SPRINKLER PIPING, STANDPIPES, ELECTRICAL RACEWAY FOR FIRE DEPT. COMMUNICATION AND ELECTRICAL RACEWAY SERVING THE EXIT PASSAGEWAY AND TERMINATING AT A STEEL BOX NOT TO EXCEED 16 SQ. INCHES. SEE PENETRATION DETAILS.

HORIZONTAL EXIT (SECTION 1022.2)		N/A
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ATRIUMS		N/A
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INCIDENTAL USE AREAS		N/A
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CONTROL AREAS		N/A
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SEPARATION OF MIXED OCCUPANCIES	*NOT REQ'D BETWEEN B AND S-1 AREAS, OTHERWISE -	1 HR.
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SINGLE OCCUPANCY FIRE AREAS		NOT REQ'D.
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FIRE PARTITIONS - FIRE RESISTANCE RATING (SECTION 708.3)

CORRIDOR WALLS (TABLE 1017.1)	B, S-1 OR S-2: SPRINKLERED	0 HR.
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PENETRATIONS
SEE FIRE PENETRATION DETAILS

CHAPTER 8: INTERIOR FINISHES

SECTION 803.5 - INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.5 (SEE BELOW).

TABLE 803.5 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY:	SPRINKLERED		
	EXIT ENCLOSURES AND EXIT PASSAGEWAYS	CORRIDORS	ROOMS AND ENCLOSED SPACES
GROUP B	CLASS B	CLASS C	CLASS C
GROUP S	CLASS C	CLASS C	CLASS C

CHAPTER 9: FIRE PROTECTION SYSTEMS

SECTION 903.2.5 - SPRINKLER SYSTEM REQUIRED. (MODIFY EXISTING)

SECTION 906 - PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE.
IFC 906.3:PROVIDE A CLASS 2-A FIRE EXTINGUISHER EVERY 75' OF TRAVEL DISTANCE

SECTION 907 - FIRE ALARM AND DETECTION SYSTEM REQUIRED
MANUAL FIRE ALARM BOX REQUIRED UNLESS SPRINKLER SYSTEM CONTAINS AN ALARM NOTIFICATION APPLIANCE THAT WILL ACTIVATE UPON SPRINKLER WATER FLOW. CONTRACTOR SHALL VERIFY AND NOTIFY ARCHITECT IN WRITING.

CHAPTER 10: MEANS OF EGRESS

	OCCUPANT LOAD (TABLE 1004.1.1)			TOTAL BUILDING OCCUPANT LOAD
	B BUSINESS AREA/100 GROSS	S-1 STORAGE AREA/300 GROSS	S-2 STORAGE AREA/200 GROSS	
SECOND FLOOR	11,536/100 = 115			*539 people
FIRST FLOOR	24,414/100 = 244	25,443/300 = 84	19,392/200 = 96	

*SEE ROOM SCHEDULE FOR ACTUAL OCCUPANT LOADS

EXIT ACCESS TRAVEL DISTANCE (IBC 2006, TABLE 1016.1)

S-1 = 250'
B = 300'
S-2 = 400'

COMMON PATH OF EGRESS TRAVEL (IBC 2006, SECTION 1014.3)

B OR S = 100'

MIN. CORRIDOR WIDTH SHALL NOT BE LESS THAN 44" (SECTION 1017.2.)
MIN. STAIR WIDTH SHALL NOT BE LESS THAN 44" (SECTION 1009.1)

SECTION 1019
2 EXITS REQUIRED PER FLOOR

CHAPTER 11: ACCESSIBILITY

ACCESSIBLE PARKING SPACES PROVIDED - SEE CIVIL DRAWINGS

SECTION 1110 SIGNAGE: REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE FOLLOWING LOCATIONS:
1. ACCESSIBLE PARKING SPACES 2. ACCESSIBLE PASSENGER LOADING ZONES 3. ACCESSIBLE ENTRANCES 4. UNISEX TOILET AND BATHING ROOMS.

CHAPTER 16: STRUCTURAL DESIGN

SEE STRUCTURAL DRAWINGS

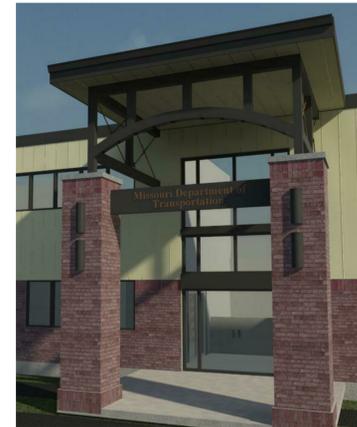
CHAPTER 27,28,29: ELECTRICAL, MECHANICAL, PLUMBING

SEE MEP DRAWINGS

ABBREVIATIONS

A.C.T.	ACOUSTIC CEILING TILE	F.O.S.	FACE OF STUD	R.D.L.	ROOF DRAIN LEADER
A.F.F.	ABOVE FINISH FLOOR	F.R.P.	FIBERGLASS REINFORCED PANEL	R.O.	ROUGH OPENING
ADJ.	ADJACENT	F.R.T.	FIRE RETARDANT TREATED FLOOR SINK	RAD.	RADIUS
ALT.	ALTERNATE	F.S.	FINISH FLOOR	REIN.F.	REINFORCEMENT
ALUM.	ALUMINUM	FIN.	FINISH FLOOR	REQD.	REQUIRED
APPROX.	APPROXIMATE	FL.	FLOOR	RES.	RESILIENT
ARCH.	ARCHITECT	GALV.	GALVANIZED	RM.	ROOM
BD.	BOARD	GWB	GYP SUM WALL BOARD	S.C.	SOLID CORE
BLDG.	BUILDING	GYP.	GYP SUM	S.F.	SQUARE FOOT
C.A.	CLEAR ANODIZED CORNER GUARD	HGT.	HEIGHT	SHT.	SHEET
C.G.	CONCRETE JOINT	HORIZ.	HORIZONTAL	SIM.	SIMILAR
C.M.U.	CONCRETE MASONRY UNIT	HR.	HOUR	ST.	STANDARD
C.T.	CERAMIC TILE	ID.	INSIDE DIAMETER	STG.	STAGGER TOP AND BOTTOM
CEM.	CEMENT	INSUL.	INSULATION	STL.	STEEL
CER.	CERAMIC	JST.	JOIST	STOR.	STORAGE
CLG.	CEILING	JT.	JOINT	STRUCT.	STRUCTURE
COL.	COLUMN	LAM.	LAMINATE	SUSP.	SUSPENDED
CONC.	CONCRETE	LAV.	LAVATORY	SYNTH.	SYNTHETIC
CONT.	CONTINUOUS	M.O.	MASONRY OPENING	T.O.S.	TOP OF STEEL
CORR.	CORRIDOR	MACH.	MACHINE	TEL.	TELEPHONE
D.S.	DOWNSPOUT	MAX.	MAXIMUM	THK.	THICKNESS
DET.	DETAIL	MECH.	MECHANICAL	TYP.	TYPICAL
DIA.	DIAMETER	MIN. OR MN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
DN.	DOWN	MISC.	MISCELLANEOUS	V.C.T.	VINYL COMPOSITION TILE
DWG.	DRAWING	MNT.	MOUNT, OR MOUNTED	V.V.C.	VINYL WALL COVERING
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	MTL.	METAL	VERT.	VERTICAL
E.J.	EXPANSION JOINT	N.I.C.	NOT IN CONTRACT	W.P.	WATER PROOFING
E.O.S.	EDGE OF SLAB	N.T.S.	NOT TO SCALE	W.W.F.	WELDED WIRE FABRIC
EA.	EACH	NO.	NUMBER	W/.	WITH
ELEC.	ELECTRICITY	O.C.	ON CENTER	W/O	WITHOUT
ELEV.	ELEVATOR	O.F.C.I.	OWNER FURNISHER AND CONTRACTOR INSTALLED OVERFLOW ROOF DRAIN	WC.	WATER CLOSET
EQ.	EQUAL	O.R.D.	OUTSIDE DIAMETER	WD.	WOOD
EXIST.	EXISTING	OD.	OUTSIDE DIAMETER	WT.	WEIGHT
EXP.	EXPANSION	OPP.	OPPOSITE		
EXT.	EXTERIOR	P.L. OR PLAM	PLASTIC LAMINATE		
F.D.	FLOOR DRAIN	P.T.	PRESSURE TREATED PLYWOOD		
F.E.	FIRE EXTINGUISHER	P.W.D.	PLYWOOD		
F.E.C.	FIRE EXTINGUISHER CABINET	PNT.	PAINT		
F.H.C.	FIRE HOSE CABINET	Q.T.	QUARRY TILE		
F.O.B.	FACE OF BRICK				

Drawing List				
Sheet Number	Sheet Name	Original Issue	Current Revision	Revision Date
A0.1	BUILDING CODE INFORMATION	1-11-2010	1	2-5-2010
A0.2	OVERALL FIRE KEY	1-11-2010		
A0.3	ENLARGED FIRE KEY MAIN LEVEL	1-11-2010		
A0.4	ENLARGED FIRE KEY SECOND LEVEL	1-11-2010	1	2-5-2010
D1.1	DEMOLITION PLAN	1-11-2010		
D1.2	DEMOLITION ELEVATIONS	1-11-2010	1	2-5-2010
A1.1	OVERALL MAIN LEVEL PLAN	1-11-2010		
A1.2	OVERALL SECOND LEVEL PLAN	1-11-2010		
A1.3	OVERALL ROOF PLAN	1-11-2010		
A1.4	ENLARGED REFLECTED CEILING PLAN MAIN LEVEL	1-11-2010		
A1.5	ENLARGED REFLECTED CEILING PLAN SECOND LEVEL	1-11-2010		
A2.1	EXTERIOR ELEVATIONS	1-11-2010		
A4.1	ENLARGED FLOOR PLAN MAIN LEVEL	1-11-2010		
A4.2	ENLARGED FLOOR PLAN SECOND LEVEL	1-11-2010		
A4.3	ENLARGED PLANS & DETAILS	1-11-2010		
A4.4	ENLARGED PLANS & DETAILS	1-11-2010		
A4.5	ENLARGED PLANS & DETAILS	1-11-2010		
A4.6	ENLARGED PLANS & DETAILS	1-11-2010		
A4.7	ENLARGED PLANS & DETAILS	1-11-2010		
A4.8	STAIR A DETAILS	1-11-2010		
A4.9	STAIR B DETAILS	1-11-2010		
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A4.11	ENLARGED PLANS & DETAILS	1-11-2010		
A4.12	ENLARGED PLANS & DETAILS	1-11-2010		
A5.1	WALL SECTIONS	1-11-2010	1	2-5-2010
A5.2	WALL SECTION	1-11-2010	1	2-5-2010
A5.3	WALL SECTIONS	1-11-2010	1	2-5-2010
A5.4	DETAILS	1-11-2010	1	2-5-2010
A5.5	STOREFRONT DETAILS	1-11-2010	1	2-5-2010
A6.1	DOOR & WALL SCHEDULES	1-11-2010		
A6.2	ROOM & WINDOW SCHEDULES	1-11-2010	1	2-5-2010
ADA-1	ADA FIGURES 1 - 11	1-11-2010		
ADA-2	ADA FIGURES 12 - 28	1-11-2010		
ADA-3	ADA FIGURES 29 - 48	1-11-2010		



PROJECT GENERAL NOTES

RIMILLER ARCHITECTS LLC CERTIFIES TO THE BEST OF OUR KNOWLEDGE AND INFORMATION, AND IN ACCORDANCE WITH ACCEPTED PROFESSIONAL STANDARDS, WE HAVE COMPLIED WITH APPLICABLE GOVERNING CODES PERTAINING TO BUILDING ACCESSIBILITY FOR THE PHYSICALLY HANDICAPPED AND THE AMERICANS WITH DISABILITIES ACT (ADA) TITLE III ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES. DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS, AND FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

IF AND TO THE EXTENT OF ANY INCONSISTENCY, AMBIGUITY, DISCREPANCY, OR ERROR IN THE CONTRACT DOCUMENTS (REFERRED TO AS "DISCREPANCY" COLLECTIVELY IN THIS PARAGRAPH), THE CONTRACTOR SHALL IMMEDIATELY SEEK CLARIFICATION FROM THE ARCHITECT. IN THE EVENT OF CONFLICTS, EXPLANATORY NOTES IN THE DRAWINGS TAKE PRECEDENCE OVER GRAPHIC INDICATIONS; LARGE-SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS, AND FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND WORK OF ALL SUBCONTRACTORS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT THE INSTALLATION AND WORKMANSHIP OF ALL MATERIAL AND EQUIPMENT IS PERFORMED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

THE CONTRACTOR SHALL FURNISH ALL EQUIPMENT, MATERIALS AND LABOR. EXCEPT AS OTHERWISE SPECIFIED, AND PERFORM ALL WORK REQUIRED BY THIS CONTRACT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY, EFFICIENCY, AND ADEQUACY OF HIS PLANT, APPLICANTS, AND METHODS, AND FOR ANY DAMAGE WHICH MAY RESULT FROM THEIR FAILURE OR THEIR IMPROPER CONSTRUCTION, MAINTENANCE OR OPERATION. GENERAL CONTRACTOR, ALL OTHER CONTRACTORS, AND ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ALL ADJACENT WORK AND SHALL COOPERATE WITH ALL OTHER TRADES SO AS TO FACILITATE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR STORAGE OF THEIR MATERIALS.

CONTRACTOR SHALL IN ALL CASES, SCHEDULE AND COMPLETE WORK SO AS TO MINIMIZE DOWN TIME AND INCONVENIENCE TO THE TENANTS INCLUDING BUT NOT LIMITED TO WORKING DURING TENANT CLOSED HOURS WHEN POSSIBLE.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL DIMENSIONAL VARIATIONS FROM THOSE SHOWN ON THE DRAWINGS WITH ALL TRADES AFFECTED. THE CONTRACTORS BID SHALL REFLECT THESE VARIATIONS.

ALL REFERENCES TO CODES, SPECIFICATIONS, AND STANDARDS IN THE DRAWINGS SHALL MEAN, AND ARE INTENDED TO BE, THE LATEST EDITION, AMENDMENT AND/OR REVISION OF SUCH REFERENCE STANDARD IN EFFECT AS OF THE DATE OF THESE CONTRACT DOCUMENTS.

THE CONTRACTOR IS TO PAY FOR ALL TESTS, PERMITS, LICENSES, CONSTRUCTION TAXES, AND FEES REQUIRED BY THE CITY, COUNTY, AND STATE LAWS, EXCEPT GENERAL BUILDING PLAN CHECK FEE WHICH WILL BE PAID BY THE OWNER. INCLUDE IN ALL CONTRACTS, NECESSARY EXPENSES TO COMPLY WITH ALL SUCH LAWS, ORDINANCES, REGULATIONS, FEES PERMITS AND TAXES. ARRANGE FOR ALL METER INSTALLATIONS AND UTILITY CONNECTIONS AND PAY FOR THESE FEES.

IT IS RECOMMENDED THAT THE SITE BE VISITED PRIOR TO SUBMISSION OF ANY BID. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES FOUND WITHIN THE CONSTRUCTION DOCUMENTS.

DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A COMPLETE BUILDING. EXECUTE PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED ACCORDING TO STANDARD AND CUSTOMARY TRADE PRACTICES AND IN SIMILAR MANNER AND SPIRIT OF DETAILS WHICH ARE SHOWN ON DRAWINGS OR DESCRIBED IN SPECIFICATIONS.

FOLLOW SPECIFICATIONS AND WRITTEN NOTES AND SCHEDULES IN PREFERENCE TO INFORMATION FURNISHED IN THE FORM OF LINE DRAWINGS.

FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE. AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. DETAILS WHICH IN THE OPINION OF THE CONTRACTOR ARE UNSOUND, UNSAFE OR NOT WATERPROOF SHALL BE CONVEYED TO THE ARCHITECT IN WRITING PRIOR TO CONSTRUCTION.

OPERABLE PARTS (SWITCHES, RECEPTALS, ETC) MUST COMPLY WITH ADA REACH RANGES - SEE FIG. 6 SHEET ADA-1.

MISSOURI DEPARTMENT OF TRANSPORTATION: WAREHOUSE RENOVATION PHASE II

830 MoDOT Drive
Cole County - City of Jefferson, Missouri 65109

Revision Schedule	
Revision Number	Revision Date
1	02/05/2010

ISSUE DATE: 1-11-2010

PROJECT NUMBER: 09-031

RIMILLER ARCHITECTS

Matthew James Rimiller
Architect
A-2007019828

1630 WEST McCARTY STREET
JEFFERSON CITY, MISSOURI 65109

A0.1

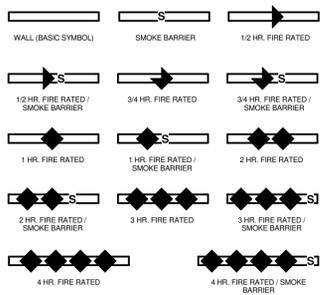
BUILDING CODE INFORMATION

T: (573) 761-5600
F: (573) 761-5655

FIRE SAFETY SYMBOLS - NFPA 170

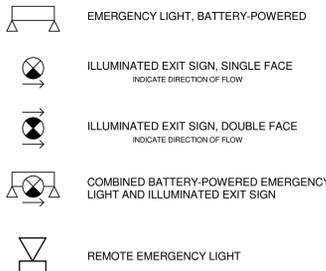
SYMBOLS FOR BUILDING CONSTRUCTION

WALLS

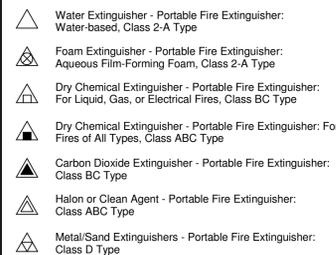


SYMBOLS RELATED TO MEANS OF EGRESS

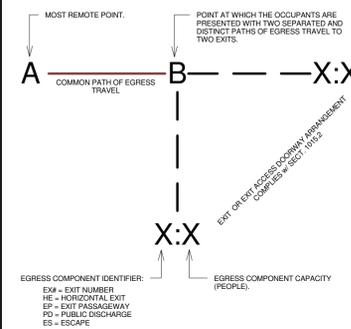
*REFER TO MEP DRAWINGS FOR FURTHER INFORMATION.



SYMBOLS FOR PORTABLE FIRE EXTINGUISHERS



SYMBOLS FOR PORTABLE FIRE EXTINGUISHERS



1 ENLARGED FIRE KEY - SECOND LEVEL
 1/8" = 1'-0"

MISSOURI DEPARTMENT OF TRANSPORTATION: WAREHOUSE RENOVATION PHASE II

830 MoDOT Drive
 Cole County - City of Jefferson, Missouri 65109

Revision Schedule	
Revision Number	Revision Date
1	02/05/2010

ISSUE DATE: 1-11-2010
 PROJECT NUMBER: 09-031

RIMILLER ARCHITECTS

STATE OF MISSOURI
 REGISTERED ARCHITECT
 MATTHEW JAMES RIMILLER
 NUMBER A-2007019828
 02/05/2010

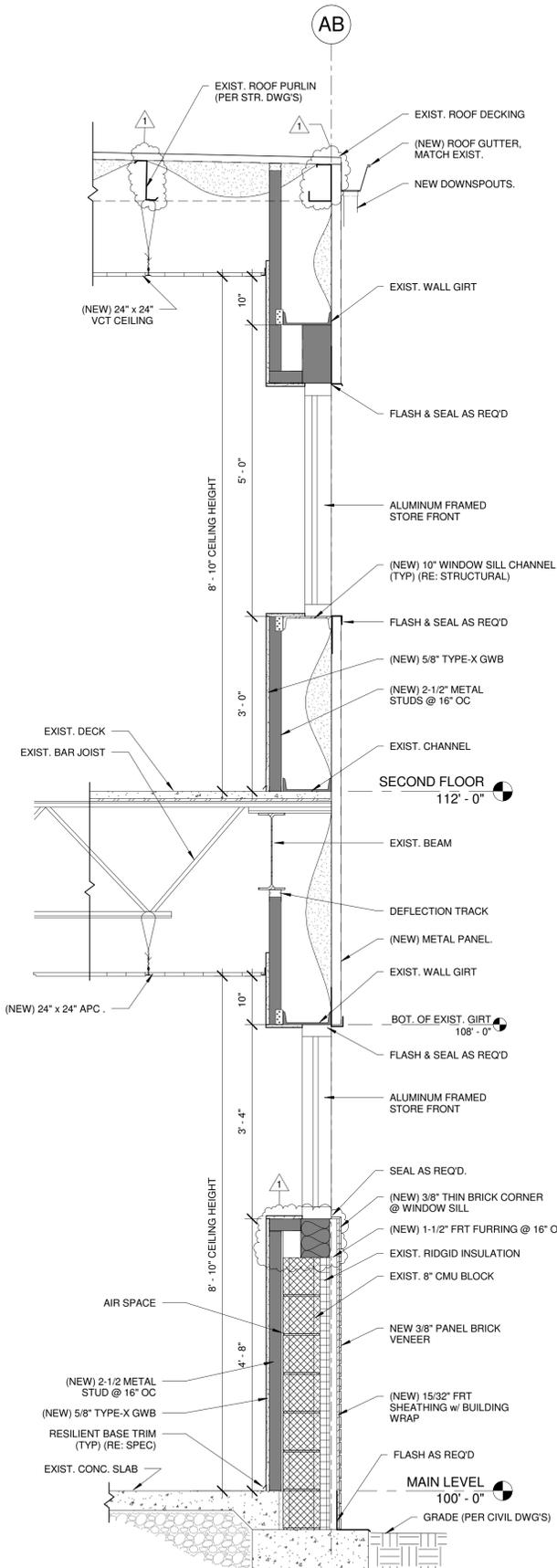
Rimiller Architects, LLC
 Missouri Certificate of Authority: A-2007030604
 Matthew James Rimiller - Architect
 A.C. # A-2007019828

1630 WEST McCARTHY STREET
 JEFFERSON CITY, MISSOURI 65109

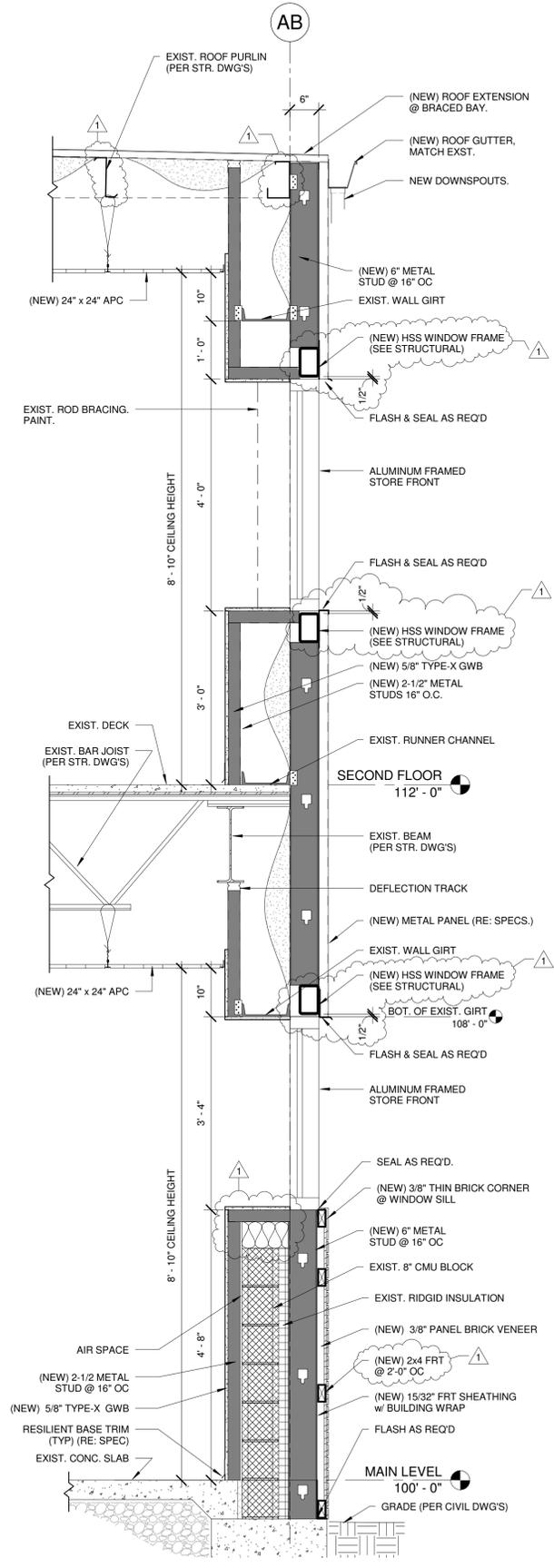
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ENLARGED FIRE KEY SECOND LEVEL

T: (573) 761-5600
 F: (573) 761-5605



1 EAST WALL SECTION
3/4" = 1'-0"



2 BRACED BAY EAST WALL SECTION
3/4" = 1'-0"

MISSOURI DEPARTMENT OF TRANSPORTATION: WAREHOUSE RENOVATION PHASE II

830 MoDOT Drive
Cole County - City of Jefferson, Missouri 65109

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Revision Number	Revision Date
1	02/05/2010

ISSUE DATE: 1-11-2010
PROJECT NUMBER: 09-031

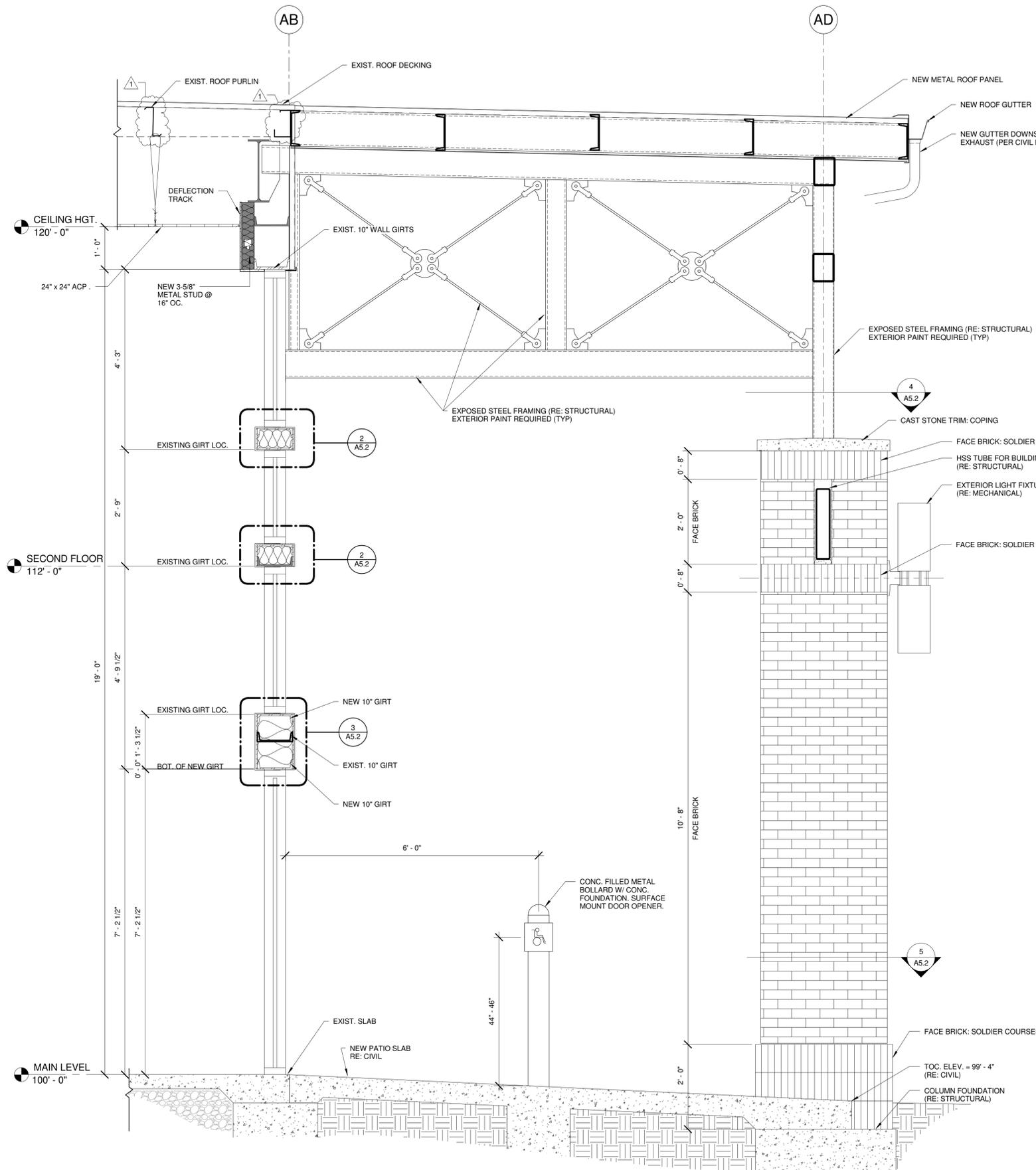
Rimler Architects LLC
Missouri Certificate of Authority # A-2007030604
Matthew James Rimler - Architect
A.C. # A-2007019828

RIMLER ARCHITECTS

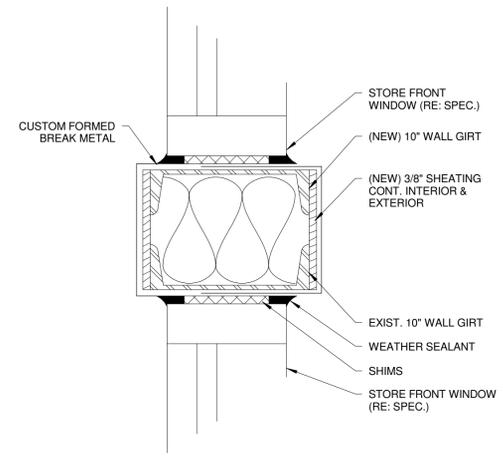
A5.1

WALL SECTIONS

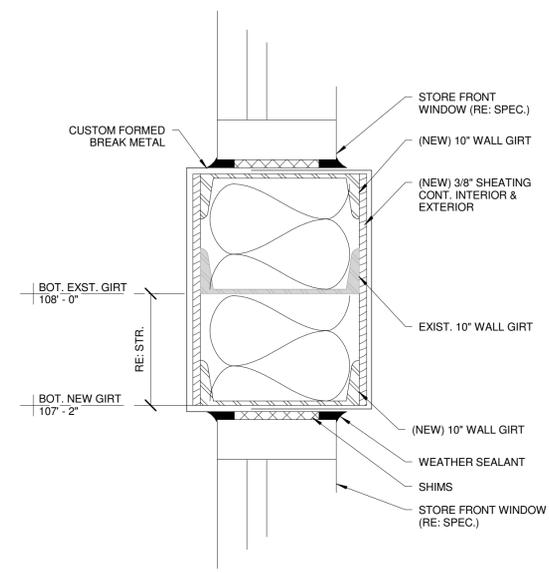
1630 WEST McCARTY STREET
JEFFERSON CITY, MISSOURI 65109
T: (573) 761-5600
F: (573) 761-5655



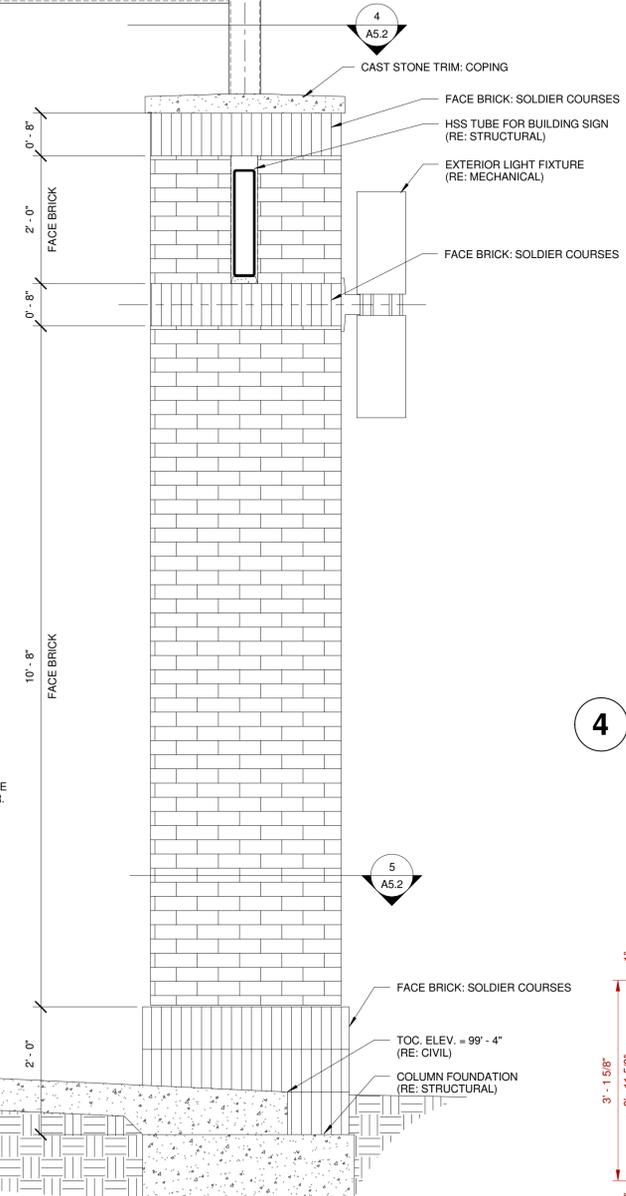
1 EAST CANOPY WALL SECTION
3/4" = 1'-0"



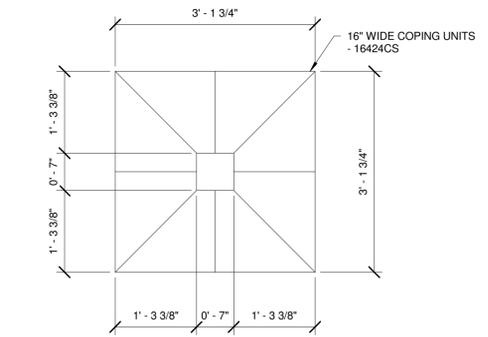
2 EXISTING GIRT FINISH DETAIL
3/4" = 1'-0"



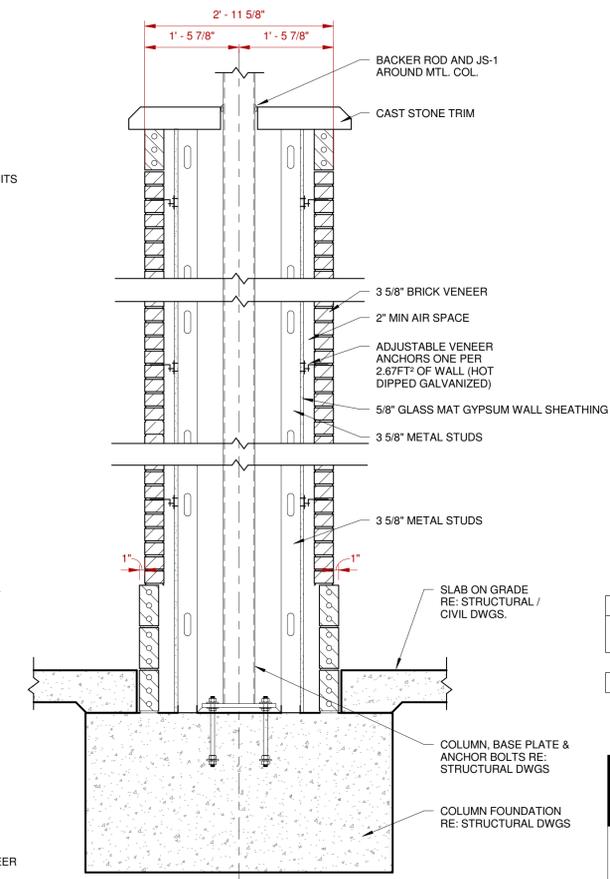
3 EXISTING GIRT FINISH DETAIL
3/4" = 1'-0"



4 COLUMN CAP STONE DETAIL
3/4" = 1'-0"



5 ENLARGED PLAN
3/4" = 1'-0"



6 ENLARGED SECTION
3/4" = 1'-0"

- ANCHORAGE NOTES:**
1. PROVIDE AT LEAST ONE ANCHOR FOR EACH 2.67 FT OF WALL.
 2. SPACE ANCHORS AT A MAXIMUM OF 32" HORIZONTALLY AND 18" VERTICALLY.
 3. PROVIDE ADDITIONAL ANCHORS AROUND ALL OPENINGS LARGER THAN 16" IN EITHER DIMENSION. PLACE ANCHORS AROUND PERIMETER OF OPENING AT A MAXIMUM OF 3" OC PLACE ANCHORS WITHIN 12" OF OPENINGS.
 4. ANCHORS ATTACHED WITH (2) 38 MM (MIN) 1 1/2" LONG CORROSION RESISTANCE SCREWS.

MISSOURI DEPARTMENT OF TRANSPORTATION: WAREHOUSE RENOVATION PHASE II

830 MoDOT Drive
Cole County - City of Jefferson, Missouri 65109

Revision Schedule	
Revision Number	Revision Date
1	02/05/2010

ISSUE DATE: 1-11-2010
PROJECT NUMBER: 09-031

RIMLER ARCHITECTS

STATE OF MISSOURI
REGISTERED ARCHITECT
MATTHEW JAMES RIMLER
NUMBER A-2007019828
2/6/2010

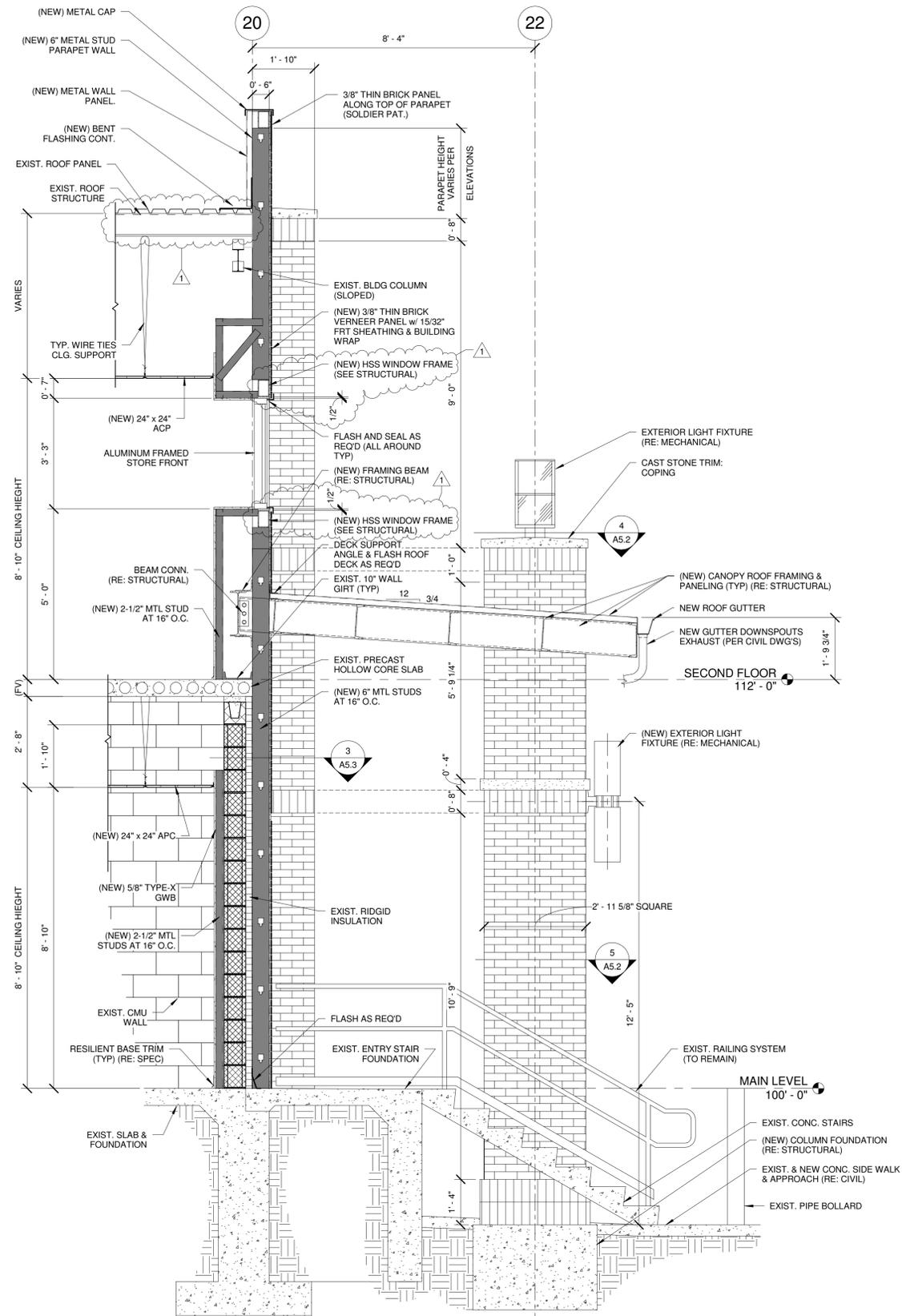
Matthew James Rimler, Architect
A-C # A-2007019828

1630 WEST McCARTY STREET
JEFFERSON CITY, MISSOURI 65109

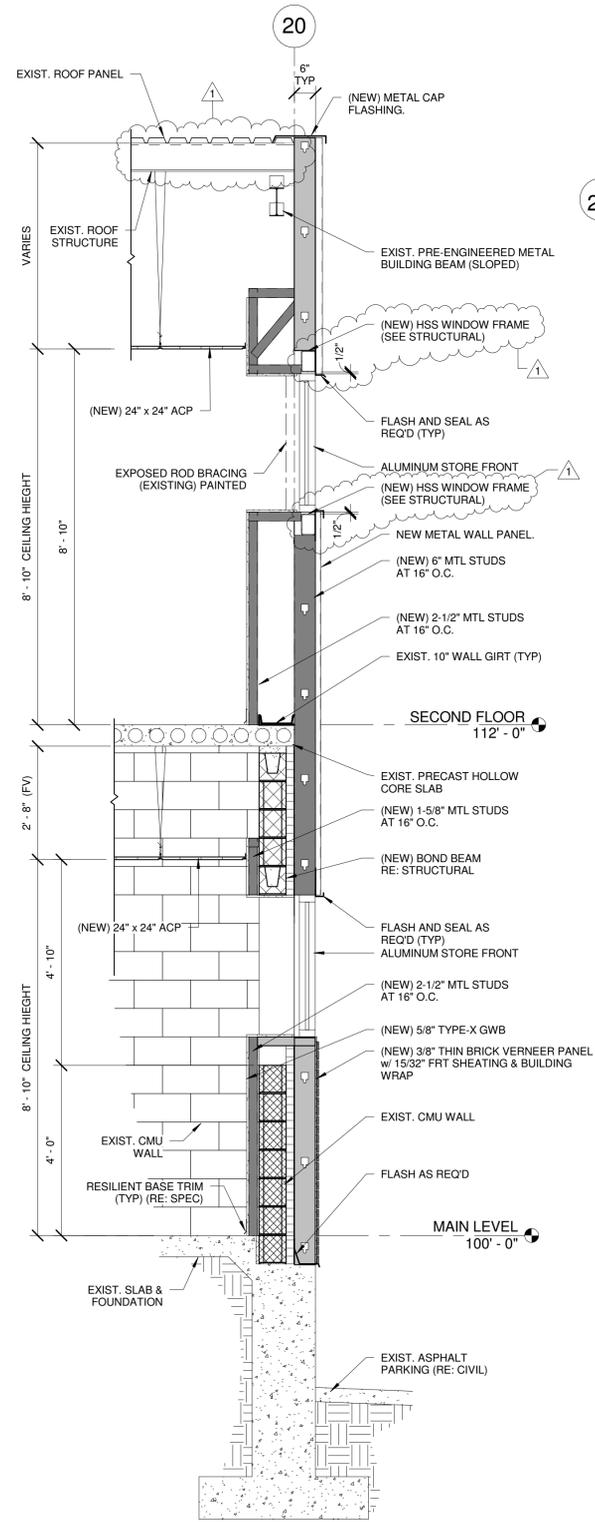
T: (573) 761-5600
F: (573) 761-5655

A5.2

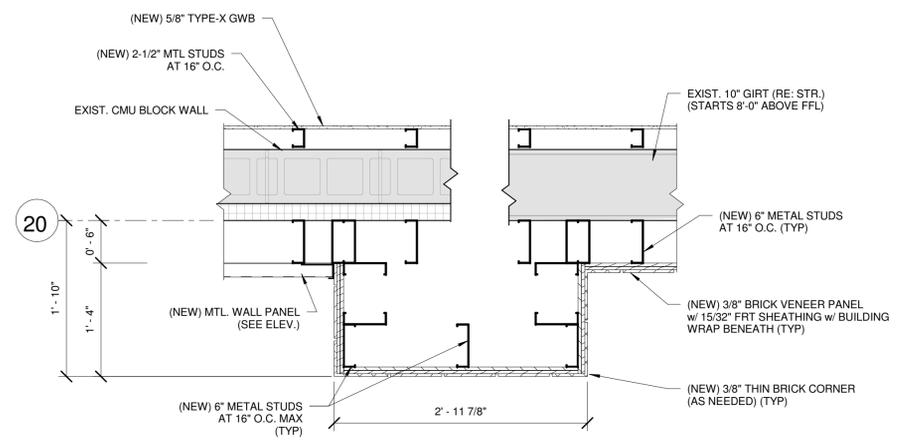
WALL SECTION



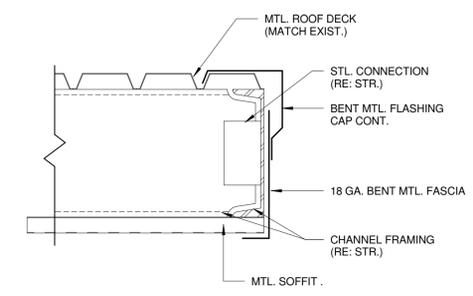
1 NORTH CANOPY WALL SECTION
1/2" = 1'-0"



2 NORTH WALL SECTION
1/2" = 1'-0"



3 COLUMN FRAMING DETAIL
1" = 1'-0"



4 EAVE DETAIL
1 1/2" = 1'-0"

MISSOURI DEPARTMENT OF TRANSPORTATION: WAREHOUSE RENOVATION PHASE II

830 MoDOT Drive
Cole County - City of Jefferson, Missouri 65109

Revision Schedule	
Revision Number	Revision Date
1	02/05/2010

ISSUE DATE: 1-11-2010
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RIMILLER ARCHITECTS

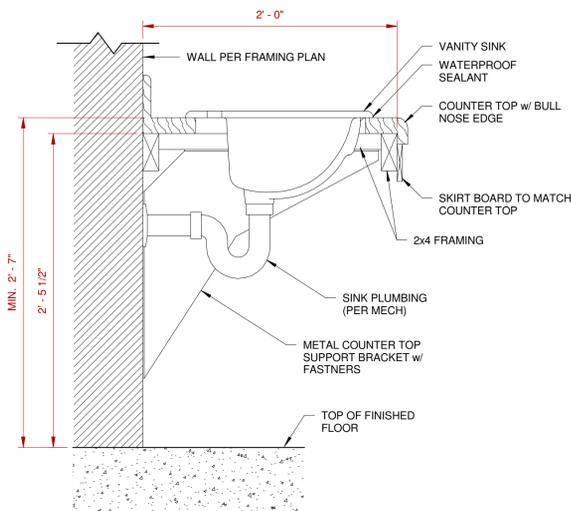
Matthew James Rimiller
Architect
A-2007019928

1630 WEST McCARTY STREET
JEFFERSON CITY, MISSOURI 65109

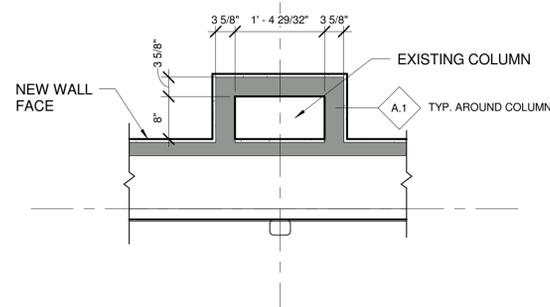
T: (573) 761-5600
F: (573) 761-5655

A5.3

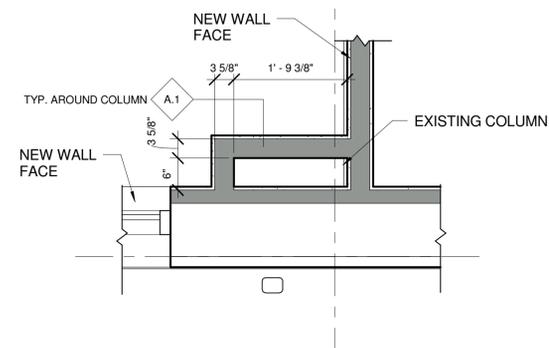
WALL SECTIONS



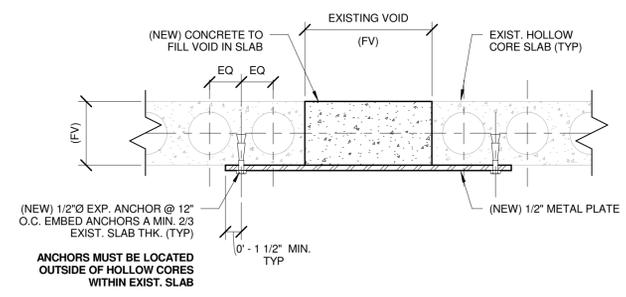
1 VANITY SINK DETAIL
1 1/2" = 1'-0"



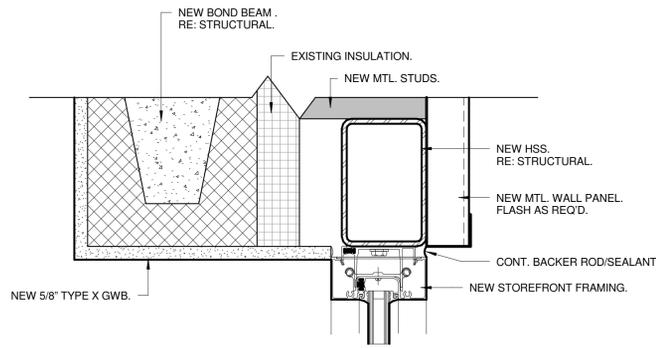
2 TYP. DETAIL
3/4" = 1'-0"



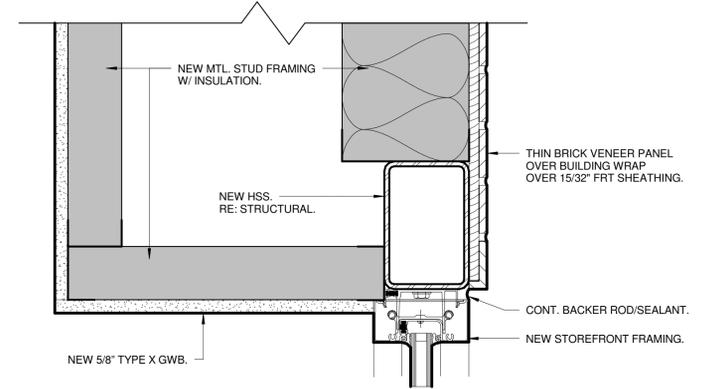
3 TYP. DETAIL
3/4" = 1'-0"



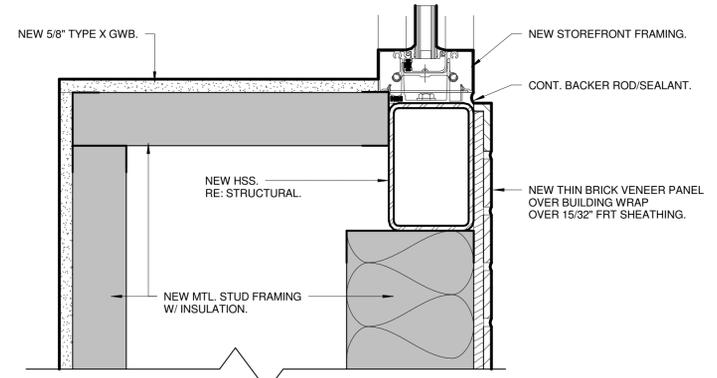
4 HOLLOW CORE DECK REPAIR DETAIL
1 1/2" = 1'-0"



5 DETAIL - STOREFRONT HEAD
3" = 1'-0"



6 DETAIL - STOREFRONT HEAD
3" = 1'-0"



7 DETAIL - STOREFRONT SILL
3" = 1'-0"

**MISSOURI DEPARTMENT OF
TRANSPORTATION: WAREHOUSE
RENOVATION PHASE II**

830 MoDOT Drive
Cole County - City of Jefferson, Missouri 65109

Revision Schedule	
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RIMILLER ARCHITECTS

STATE OF MISSOURI
MATTHEW JAMES
RIMILLER
ARCHITECT
NUMBER
A-2007019828
02/05/2010

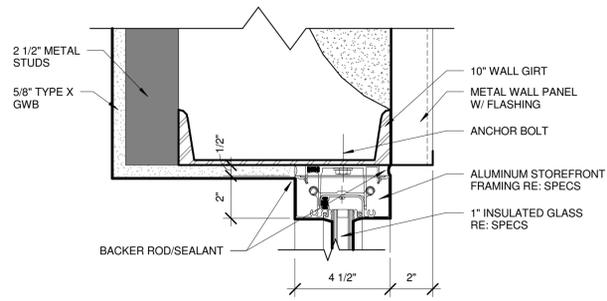
Rimiller Architects LLC
Missouri Certificate of Authority # A-2007030604
Matthew James Rimiller - Architect
A.C. # A-2007019828

1630 WEST McCARTY STREET
JEFFERSON CITY, MISSOURI 65109

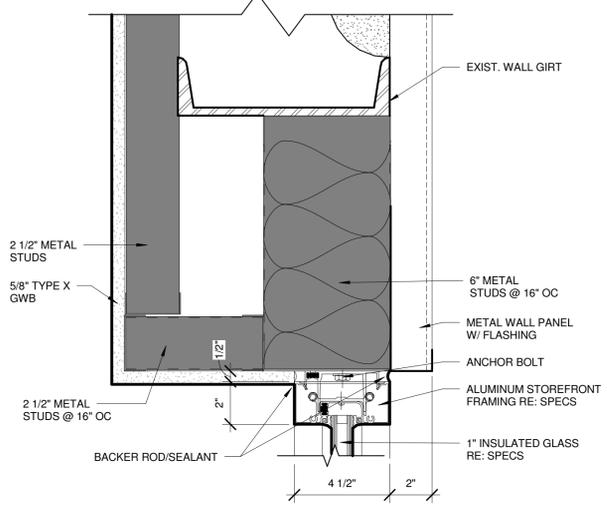
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DETAILS

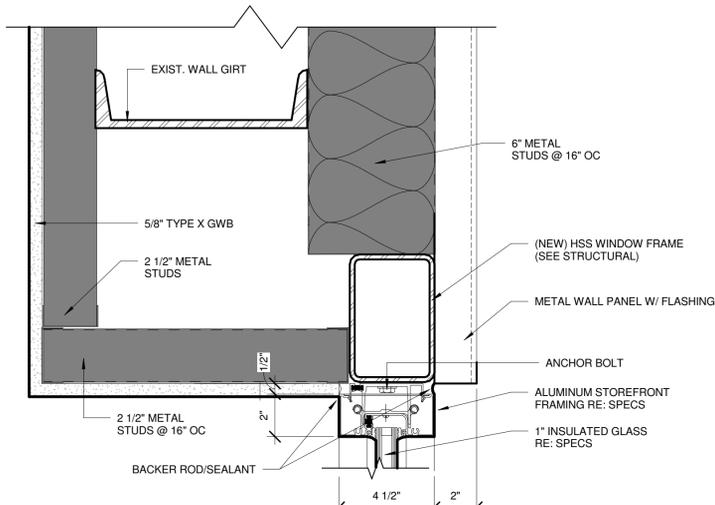
T: (573) 761-5600
F: (573) 761-5605



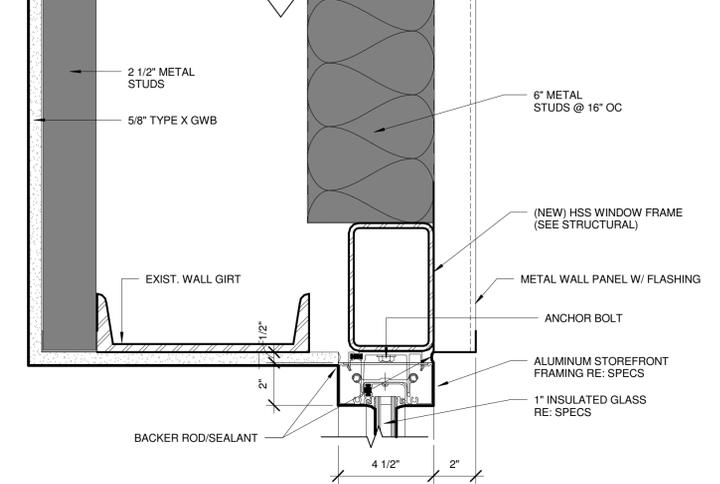
1 **DETAIL - STOREFRONT HEADER**
3" = 1'-0"



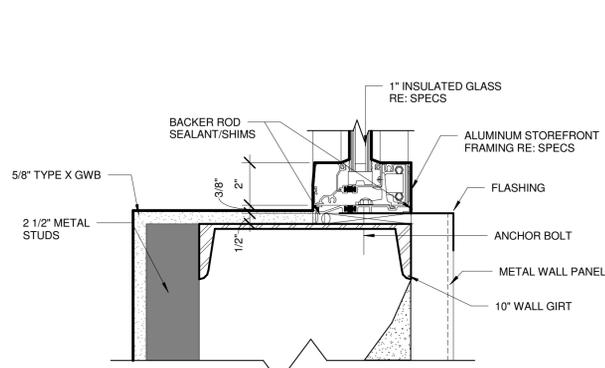
2 **DETAIL - STOREFRONT HEADER**
3" = 1'-0"



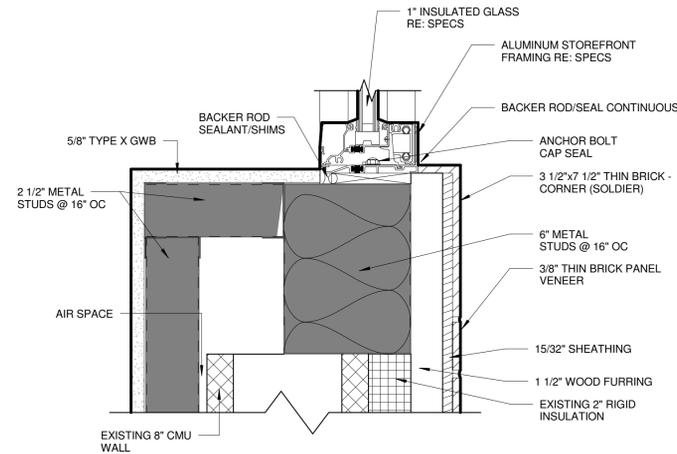
3 **DETAIL - STOREFRONT HEADER**
3" = 1'-0"



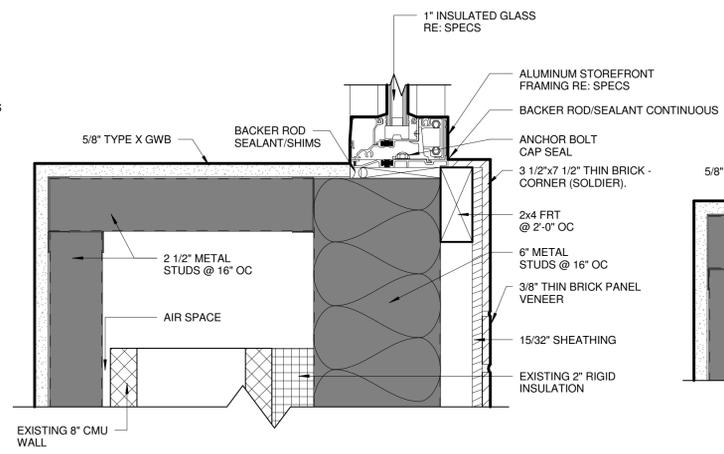
4 **DETAIL - STOREFRONT HEADER**
3" = 1'-0"



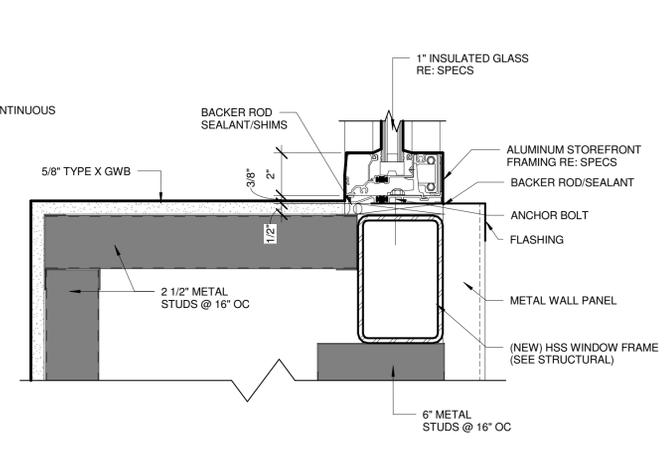
5 **DETAIL - STOREFRONT SILL**
3" = 1'-0"



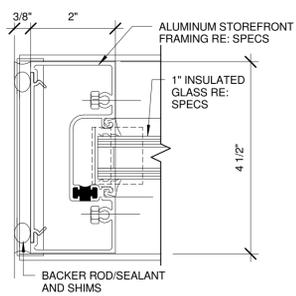
6 **DETAIL - STOREFRONT SILL**
3" = 1'-0"



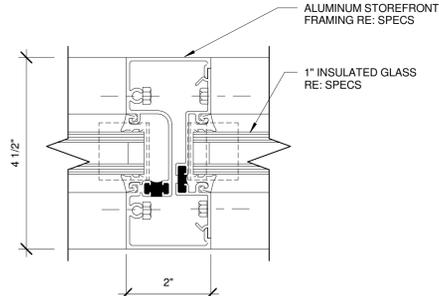
7 **DETAIL - STOREFRONT SILL**
3" = 1'-0"



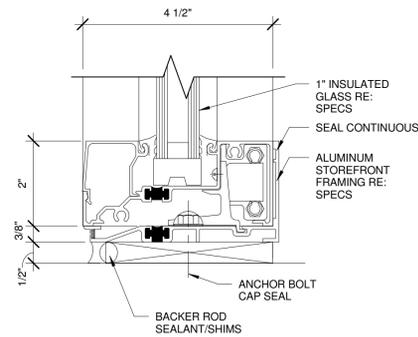
8 **DETAIL - STOREFRONT SILL**
3" = 1'-0"



9 **TYP. STOREFRONT JAMB**
6" = 1'-0"



10 **TYP. STOREFRONT MULLION**
6" = 1'-0"



11 **TYP. STOREFRONT SILL**
6" = 1'-0"

**MISSOURI DEPARTMENT OF
TRANSPORTATION: WAREHOUSE
RENOVATION PHASE II**

830 MoDOT Drive
Cole County - City of Jefferson, Missouri 65109

Revision Schedule	
Revision Number	Revision Date
1	02/05/2010

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RIMILER ARCHITECTS

STATE OF MISSOURI
REGISTERED ARCHITECT
MATTHEW JAMES RIMILER
NUMBER A-2007019828

Rimiler Architects LLC
Missouri Certificate of Authority # A-2007030604
Matthew James Rimiler - Architect
A.C. # A-2007019828

1830 WEST McCARTHY STREET
JEFFERSON CITY, MISSOURI 65109

A5.5

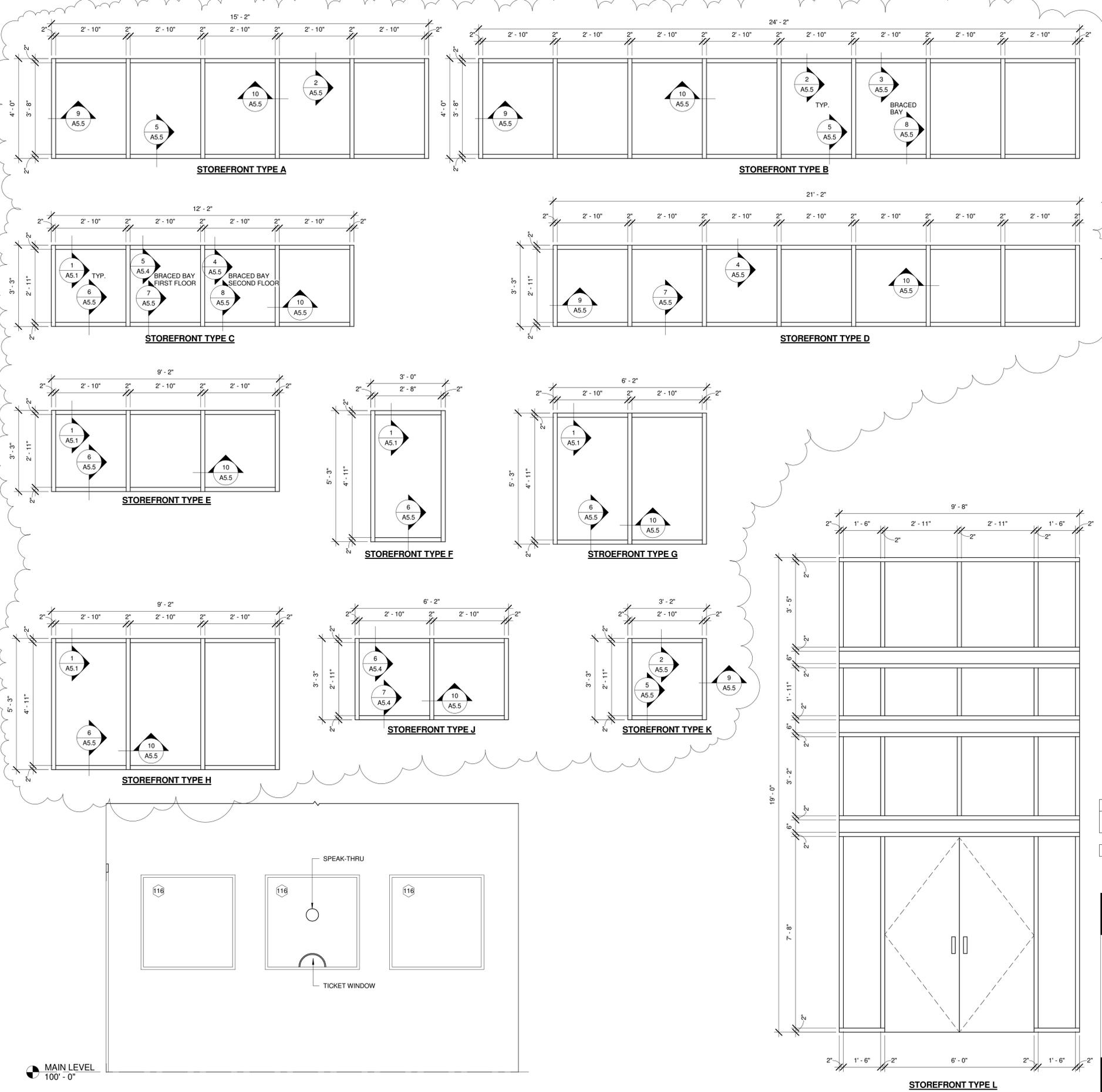
STOREFRONT DETAILS

T: (573) 761-5600
F: (573) 761-5655

Finish Schedule Key	
APC	Acoustical Panel Ceiling
E	Existing
P	Interior Latex Primer & Interior High-Performance Architectural Latex Paint
V	Vinyl Cove Base 4"
VCT	Vinyl Composition Tile
C	Carpet Tile

Room Schedule Phase II						
Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Notes
301	Entry	VCT	V	P	APC	
302	Receptionist	C	V	P	APC	
303	Data/Telcom	C	V	P	APC	
304	Lobby	C	V	P	APC	
305	MO Director	C	V	P	APC	
306	Survey Storage	VCT	V	P	APC	
307	Mechanical	E	E	E	E	
308	Mechanical	E	E	E	E	
309	Scan Rm	C	E	E	E	
310	Conference Rm 3	C	V	P	APC	
311	CADD Training	C	V	P	APC	
312	MO Storage	C	V	P	APC	
313	Conference Rm 2	C	V	P	APC	
314	Womens Restroom	VCT	V	P	APC	
315	Mens Restroom	VCT	V	P	APC	
316	Assist. RR	VCT	V	P	APC	
317	Nursing	VCT	V	P	APC	
318	Break Rm 1	VCT	V	P	APC	
319	Conference Rm 4	C	V	P	APC	
320	TS Storage	C	V	P	APC	
321	Travel Services	C	V	P	APC	
322	Travel Services	C	V	P	APC	
323	TS 1	C	V	P	APC	
324	GS Storage	C	V	P	APC	
325	GS Director	C	V	P	APC	
326	EO Director	C	V	P	APC	
327	Equal Opp.	C	V	P	APC	
328	EO Storage	C	V	P	APC	
329	General Services	C	V	P	APC	
330	GS 4	C	V	P	APC	
331	GS 3	C	V	P	APC	
332	Kardex Rm	C	V	P	APC	
333	GS 2	C	V	P	APC	
334	GS 1	C	V	P	APC	
335	Multi Modal	C	V	P	APC	
336	MO1	C	V	P	APC	
337	MO 2	C	V	P	APC	
338	MO 3	C	V	P	APC	
339	MO 4	C	V	P	APC	
340	MO 5	C	V	P	APC	
341	MO 6	C	V	P	APC	
342	MO 7	C	V	P	APC	
343	MO 8	C	V	P	APC	
344	Tire Storage	E	E	E	E	
345	CADD	C	V	P	APC	
346	CADD 3	C	V	P	APC	
347	CADD 1	C	V	P	APC	
348	CADD 2	C	V	P	APC	
349	Photogrammetry	C	V	P	APC	
350	Roof Access/ Mech. Rm	E	E	E	E	
351	CADD Storage	C	V	P	APC	
352	Break Rm 2	VCT	V	P	APC	
353	Conference Rm 1	C	V	P	APC	
354	D/T ROOM 2	E	E	E	E	
355	Womens Restroom	VCT	V	P	APC	
356	Mens Restroom	VCT	V	P	APC	
357	Organizational Results	C	V	P	APC	
358	OR 3	C	V	P	APC	
359	OR Storage	C	V	P	APC	
360	OR Director	C	V	P	APC	
361	OR 4	C	V	P	APC	
362	OR Admin.	C	V	P	APC	

WINDOW SCHEDULE				
MARK	CONSTRUCTION	ROUGH WIDTH	ROUGH HEIGHT	HEAD HEIGHT
115	STEEL (COLD ROLLED)	2' - 0"	3' - 0"	7' - 0"
116	STEEL (COLD ROLLED)	4' - 0"	4' - 0"	8' - 0"



1 MAIN LEVEL
100' - 0"

1/2" = 1'-0"

TRANSFER WINDOW BETWEEN ENTRY/RECEPTIONIST

**MISSOURI DEPARTMENT OF
TRANSPORTATION: WAREHOUSE
RENOVATION PHASE II**

830 MoDOT Drive
Cole County - City of Jefferson, Missouri 65109

Revision Schedule	
Revision Number	Revision Date
1	02/05/2010

ISSUE DATE: 1-11-2010
PROJECT NUMBER: 09-031

RIMILLER ARCHITECTS

STATE OF MISSOURI
REGISTERED ARCHITECT
MATTHEW JAMES
RIMILLER
NUMBER
A-2007019828
2/2/05/2010

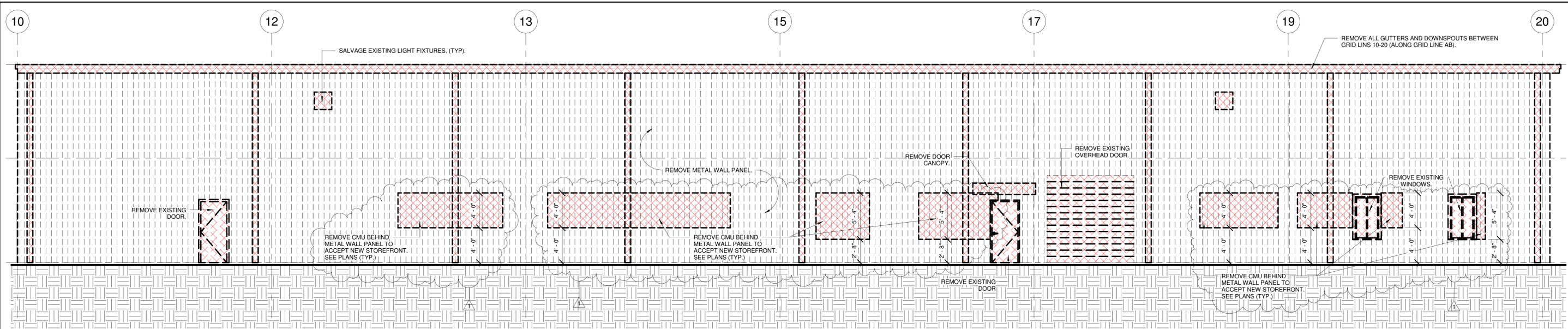
Rimiller Architects, LLC
Missouri Certificate of Authority # A-2007030604
Matthew James Rimiller - Architect
A.C. # A-2007019828

1630 WEST McCARTY STREET
JEFFERSON CITY, MISSOURI 65109

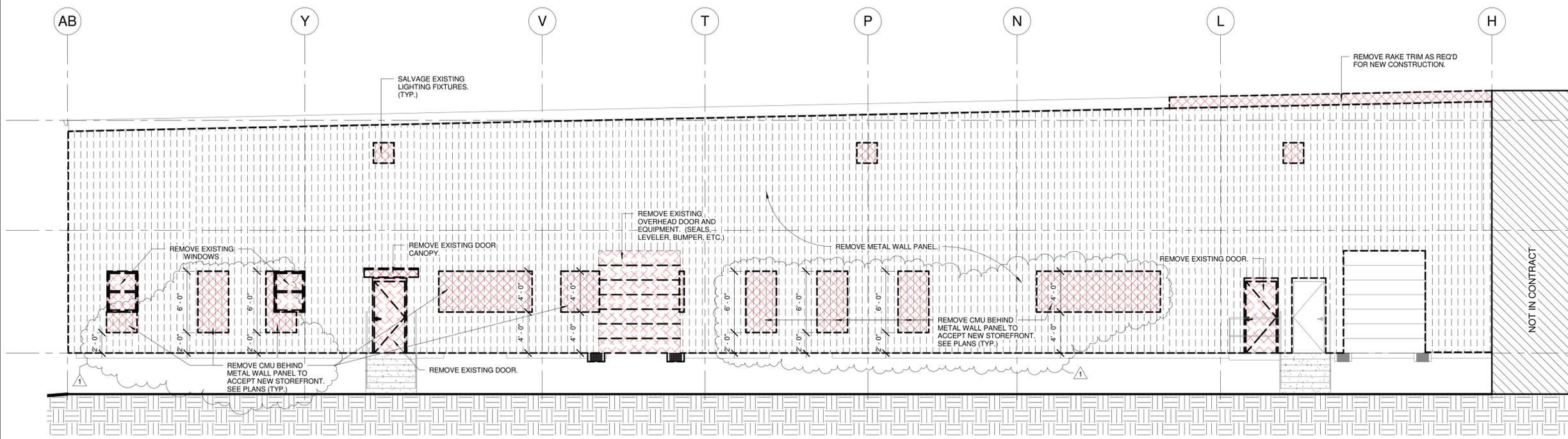
T: (573) 761-5600
F: (573) 761-5655

A6.2

ROOM & WINDOW SCHEDULES



1 EAST DEMOLITION ELEVATION
3/16" = 1'-0"



2 NORTH DEMOLITION ELEVATION
3/16" = 1'-0"

**MISSOURI DEPARTMENT OF
TRANSPORTATION: WAREHOUSE
RENOVATION PHASE II**

830 MoDOT Drive
Cole County - City of Jefferson, Missouri 65109

Revision Schedule	
Revision Number	Revision Date
1	02/05/2010

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PROJECT NUMBER: 09-031

Matthew James Rimmler
Architect
A-C-2007019828

RIMMLER ARCHITECTS

D1.2

DEMOLITION ELEVATIONS

T: (573) 761-5600
F: (573) 761-5605

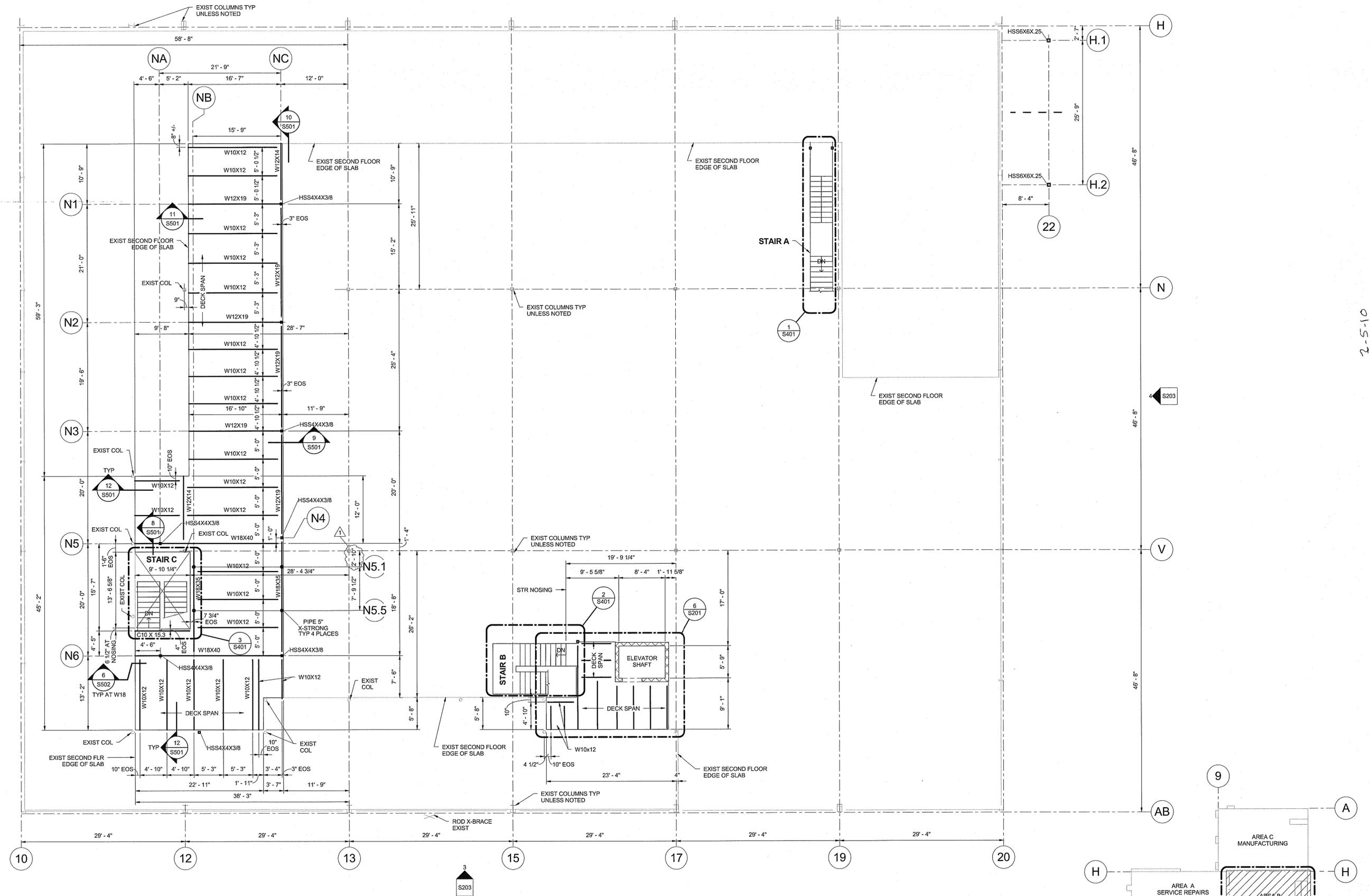
ROOF EAVE
122'-9"

SECOND LEVEL
112'-0"

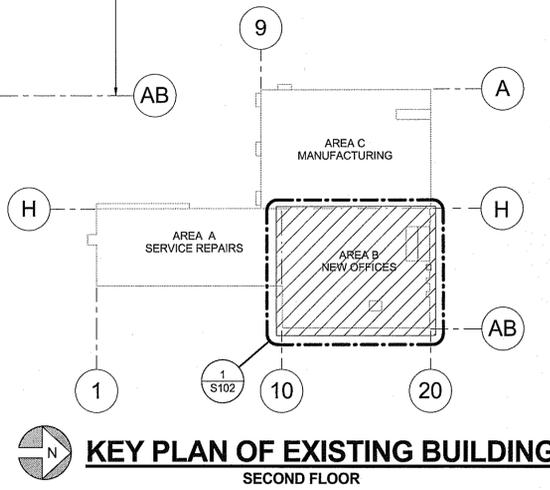
MAIN LEVEL
100'-0"

NOT IN CONTRACT

P:\00160-040_AcadRevit Models\Phase II Model\Local Files\800160-040 Mod\Dot Structural - Phase II_basistger.rvt
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 PLOT DATE & TIME:



1 SECOND FLOOR FRAMING PLAN
 1/8" = 1'-0"
 PLAN NOTES:
 1. 2 1/2" NW CONCRETE ON 1 1/2" 20 GAGE NON-COMPOSITE METAL DECK, 4" TOTAL THICKNESS, TOP OF SLAB ELEVATION = 112'-0".
 2. TOP OF NEW STEEL BEAM ELEVATIONS = 111'-8" UNO.



KEY PLAN OF EXISTING BUILDING
 SECOND FLOOR

800160-040
 SHEET NO. **S102**

**WAREHOUSE RENOVATION PHASE II
 SECOND FLOOR FRAMING PLAN**

MISSOURI DEPARTMENT OF TRANSPORTATION
 JEFFERSON CITY, COLE COUNTY, MISSOURI

SHAFER, KLINE, & WARREN, INC.
 1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1997
 573-442-4537 FAX: 620-365-6828

OFFICE LOCATIONS:
 Columbia, MO
 Houston, TX
 Kansas City, MO
 Kansas, KS
 Lenexa, KS
 Merit, MO
 North Kansas City, MO
 Tulsa, OK

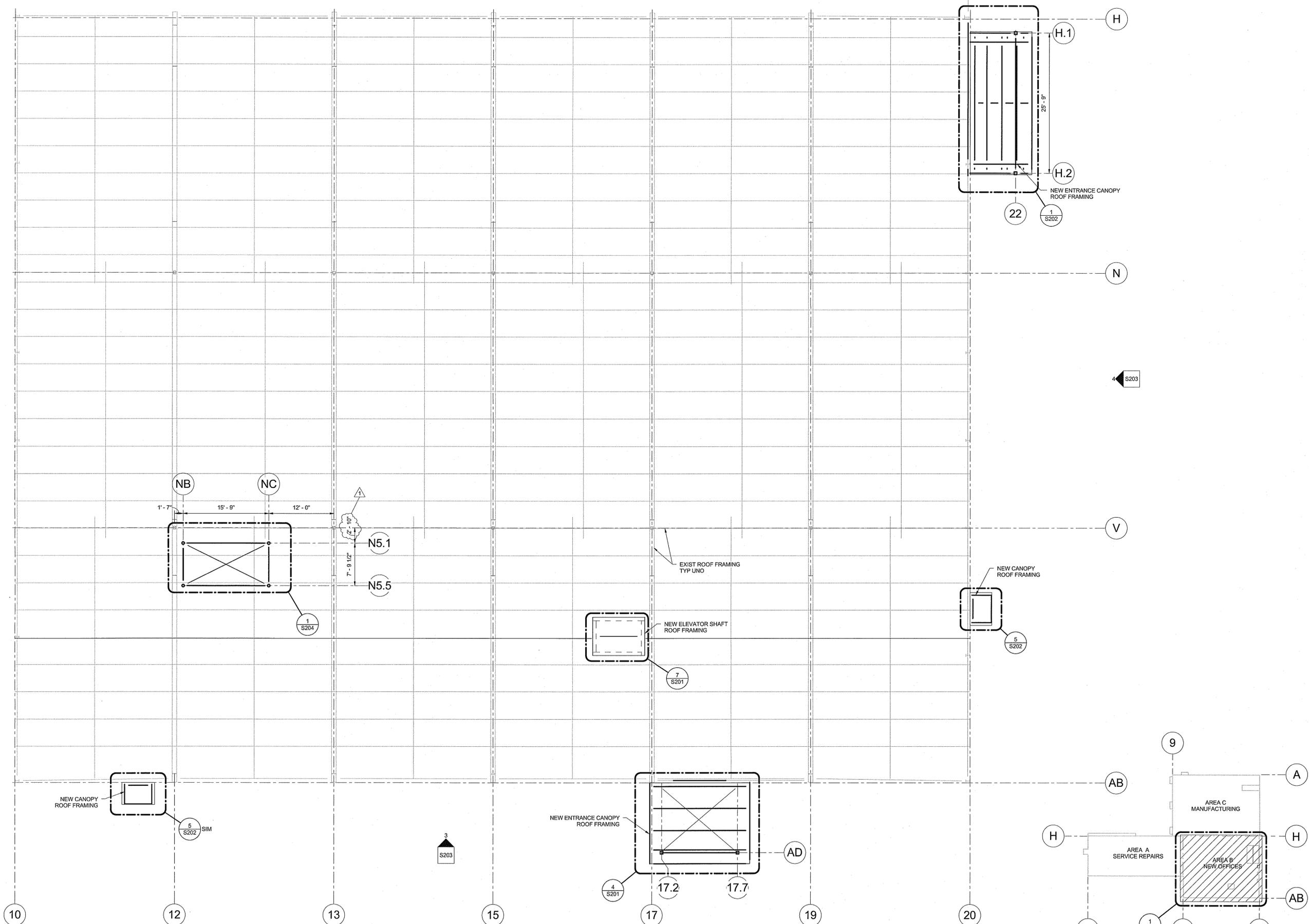
CIVIL ENGINEERS - ELECTRICAL ENGINEERS - MECHANICAL ENGINEERS - STRUCTURAL ENGINEERS - LANDSCAPE ARCHITECTS - LAND SURVEYORS - LAND PLANNERS

Designed By: RJK
 Drawn By: JJB
 Checked By: MUR
 Issue Date: 1-11-2010

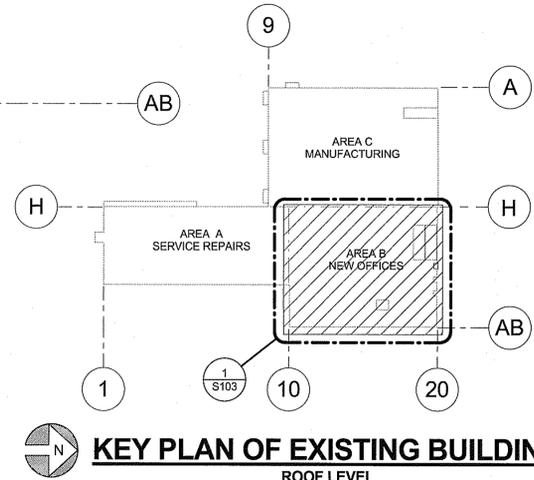
REVISIONS
 NO. DATE ADDENDUM #
 1 2-5-2010

BY: LAPPD
 COPYRIGHT © 2009 SHAFER, KLINE & WARREN INC.
 MISSOURI CERTIFICATE OF AUTHORITY: F0013850

2-5-10



1 ROOF FRAMING PLAN
 1/8" = 1'-0"
 PLAN NOTES:
 1. SEE ENLARGED FRAMING PLANS AND SECTIONS FOR ELEVATIONS AND NEW FRAMING MEMBERS.



KEY PLAN OF EXISTING BUILDING
 ROOF LEVEL

2-5-10

NO.	DATE	ADDENDUM #1	REVISIONS	BY	APP'D
1	2-5-2010				

Designed By:	RRK
Drawn By:	JUB
Checked By:	MJR
Issue Date:	1-11-2010



SHAFER, KLINE, & WARREN, INC.
 1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1997
 573/442-4537 FAX: 620/365-6828

OFFICE LOCATIONS:
 Columbia, MO
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 Kansas City, MO
 Lincoln, NE
 Memphis, TN
 Tulsa, OK

Missouri, MO
 North Kansas City, MO
 Tulsa, OK
 USA, OK

CIVIL ENGINEERS - ELECTRICAL ENGINEERS - MECHANICAL ENGINEERS - STRUCTURAL ENGINEERS - LANDSCAPE ARCHITECTS - LAND SURVEYORS - LAND PLANNERS

MISSOURI DEPARTMENT OF TRANSPORTATION
 JEFFERSON CITY, COLE COUNTY, MISSOURI

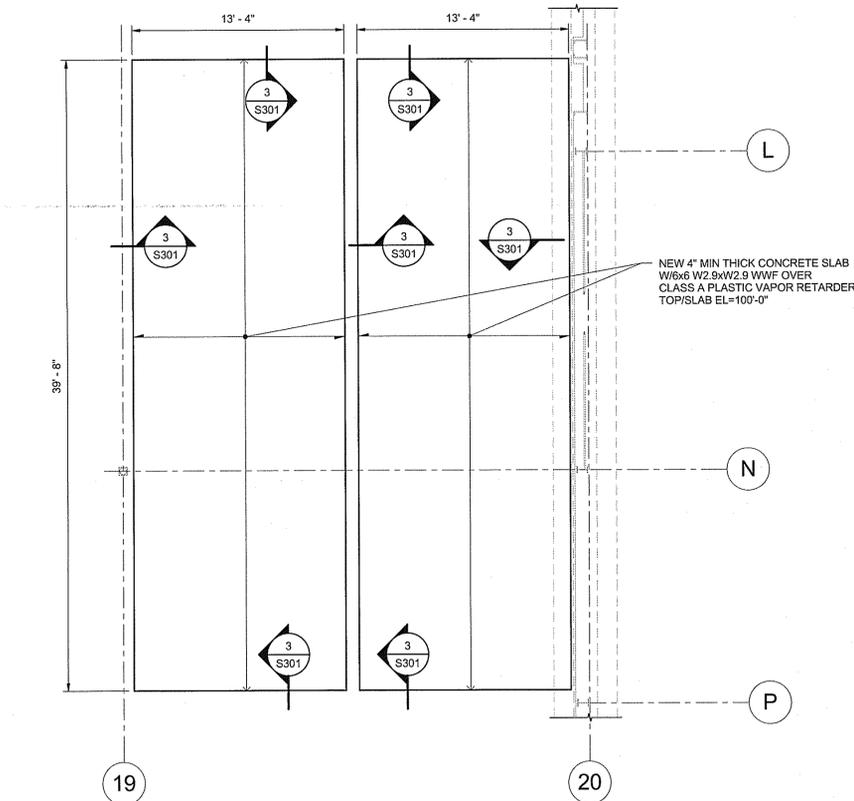
WAREHOUSE RENOVATION PHASE II
ROOF FRAMING PLAN

800160-040
SHEET NO. S103

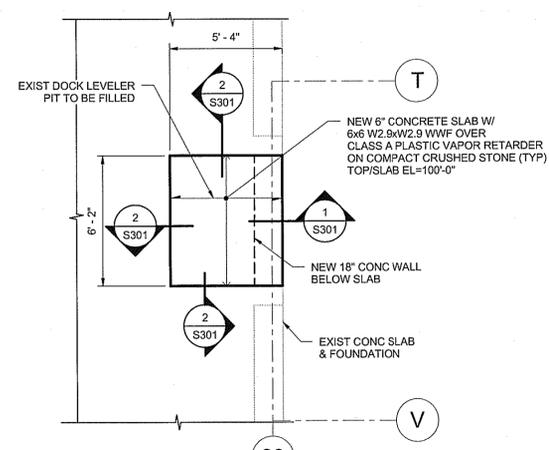
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PLOT DATE & TIME:

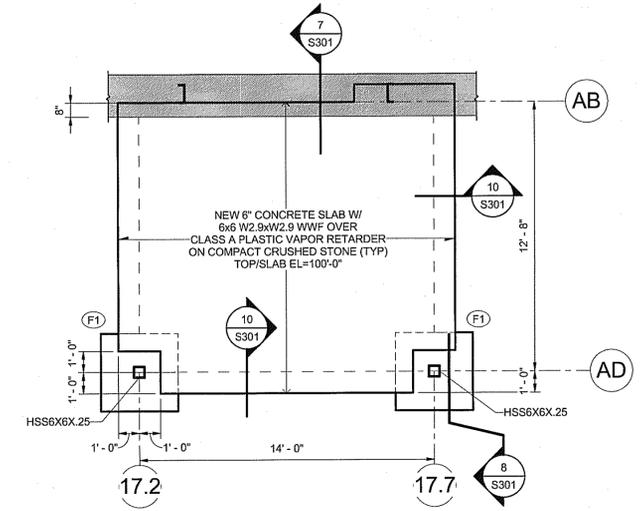
P:\900160-0401_Acad\Revit Models\Phase II Model\Local Files\900160-0401 Model Structural - Phase II_basinger.rvt



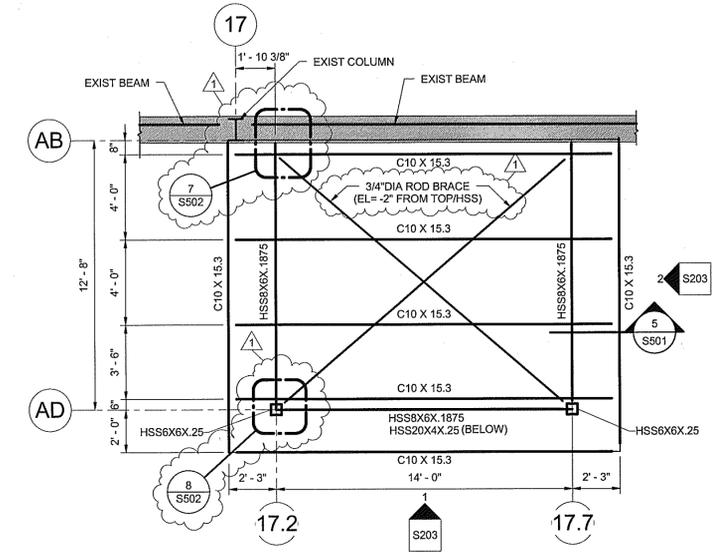
1 NEW FLOOR SLAB AT EXISTING CHEMICAL ROOMS
 3/16" = 1'-0"



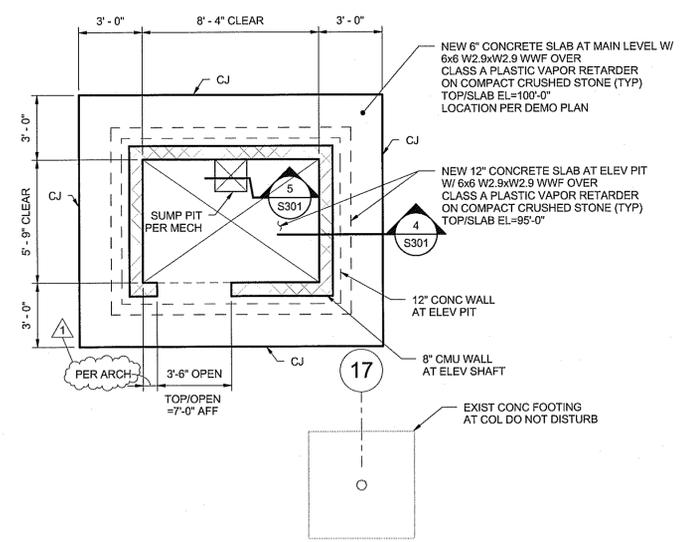
2 LOADING DOCK PIT IN-FILL PLAN
 1/4" = 1'-0"



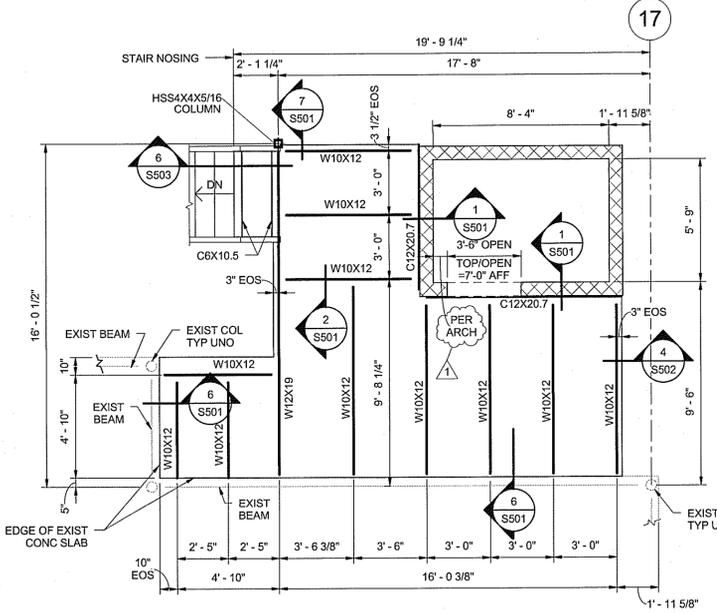
3 ENTRANCE CANOPY FOUNDATION PLAN
 1/4" = 1'-0"
 PLAN NOTES:
 1. SEE 4/S101 FOR ENTRANCE CANOPY ROOF FRAMING PLAN.



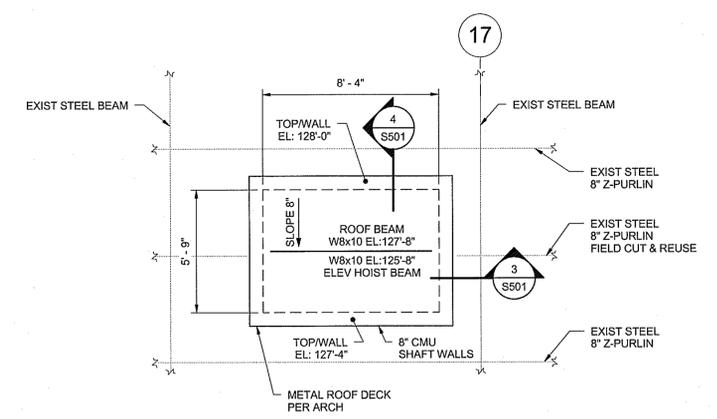
4 ENTRANCE CANOPY FRAMING PLAN
 1/4" = 1'-0"
 PLAN NOTES:
 1. TOP OF STEEL BEAM ELEVATIONS VARY SEE SECTIONS AND FRAMING ELEVATIONS.
 2. METAL ROOF DECK PER ARCH.



5 ELEVATOR SHAFT MAIN LEVEL PLAN
 1/4" = 1'-0"
 PLAN NOTES:
 1. SEE 6 & 7/S101 FOR ADDITIONAL ELEVATOR SHAFT FRAMING PLANS.



6 ELEVATOR SHAFT SECOND LEVEL PLAN
 1/4" = 1'-0"
 PLAN NOTES:
 1. 4" CONCRETE SLAB ON 1 1/2" 20 GAGE NON-COMPOSITE METAL DECK TOP OF SLAB ELEVATION = 112' - 0".
 2. TOP OF NEW STEEL BEAM ELEVATIONS = 111' - 8" UNO.



7 ELEVATOR SHAFT ROOF LEVEL PLAN
 1/4" = 1'-0"

KEY PLAN OF EXISTING BUILDING

NO.	DATE	ADDENDUM #1	REVISIONS	BY	LAPPD
1	2-5-2010				

Designed By: RRR
 Drawn By: JJB
 Checked By: MUR
 Issue Date: 1-11-2010



SHAFFER, KLINE, & WARREN, INC.
 1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1997
 573/442-4537 FAX: 620/365-6828

OFFICE LOCATIONS:
 Chicago, MO
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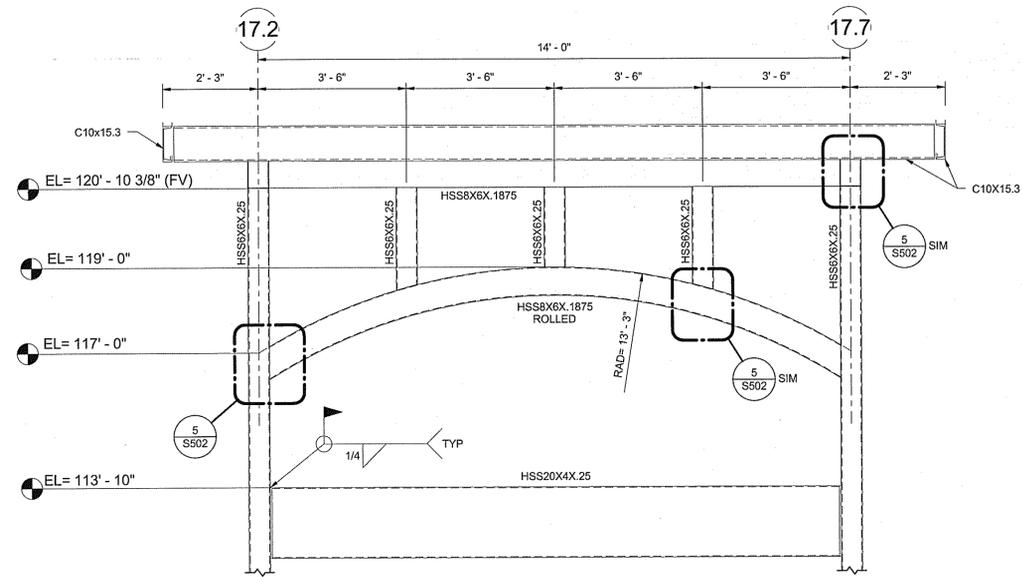
MEMBERSHIP:
 ASCE
 NSPE
 PE
 P.E.
 RICHARD P. KLINE
 MISSOURI LICENSE NO. 134393
 MO. E. 3483



MISSOURI DEPARTMENT OF TRANSPORTATION
 JEFFERSON CITY, COLE COUNTY, MISSOURI

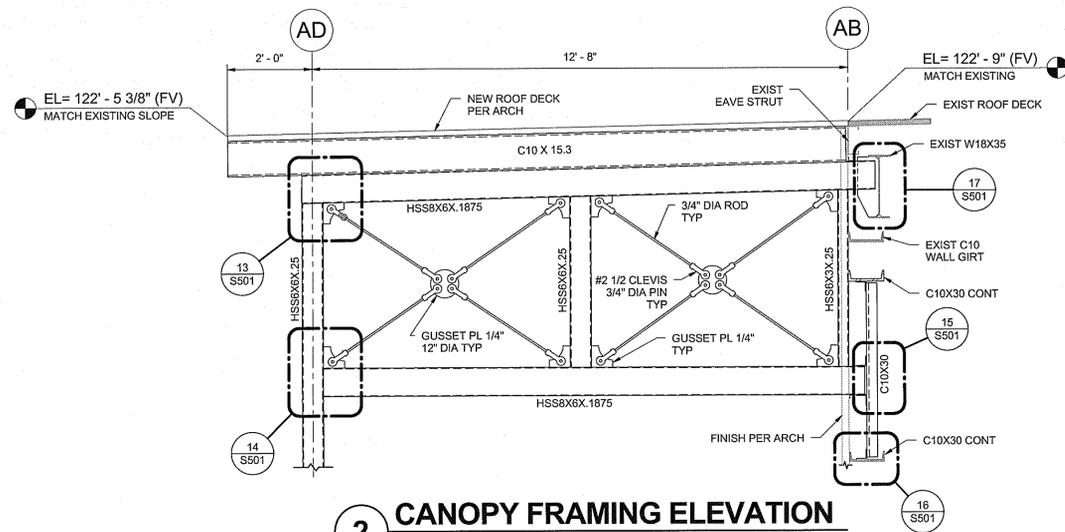
WAREHOUSE RENOVATION PHASE II
 ENLARGED PLANS

800160-040
 SHEET NO.
 S201



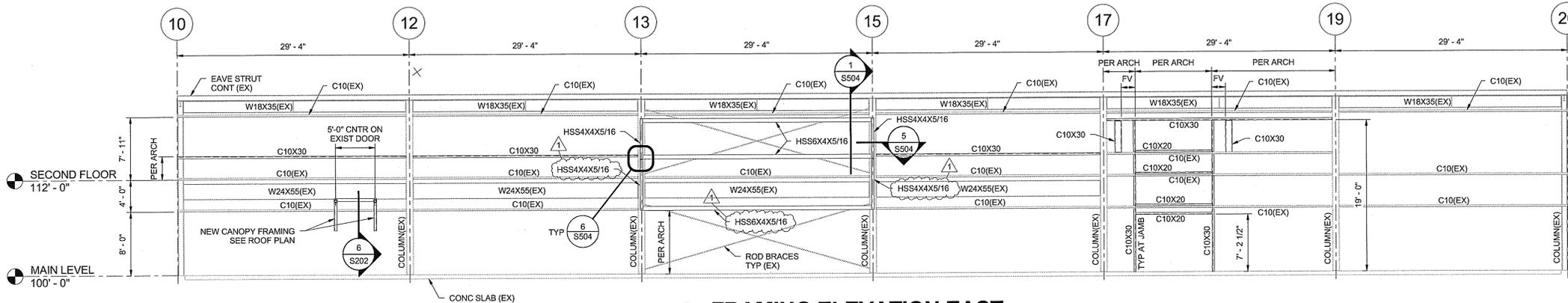
1 CANOPY FRAMING ELEVATION
1/2" = 1'-0"

NOTES:
1. PROVIDE 1/4" CAP PLATE AT ENDS OF HSS FRAMING TO FACILITATE FIELD WELDING.
2. HSS FRAMING MEMBERS ARE ARCHITECTURALLY EXPOSED GRIND ALL SHOP AND FIELD WELDS SMOOTH FOR FINISH APPEARANCE.



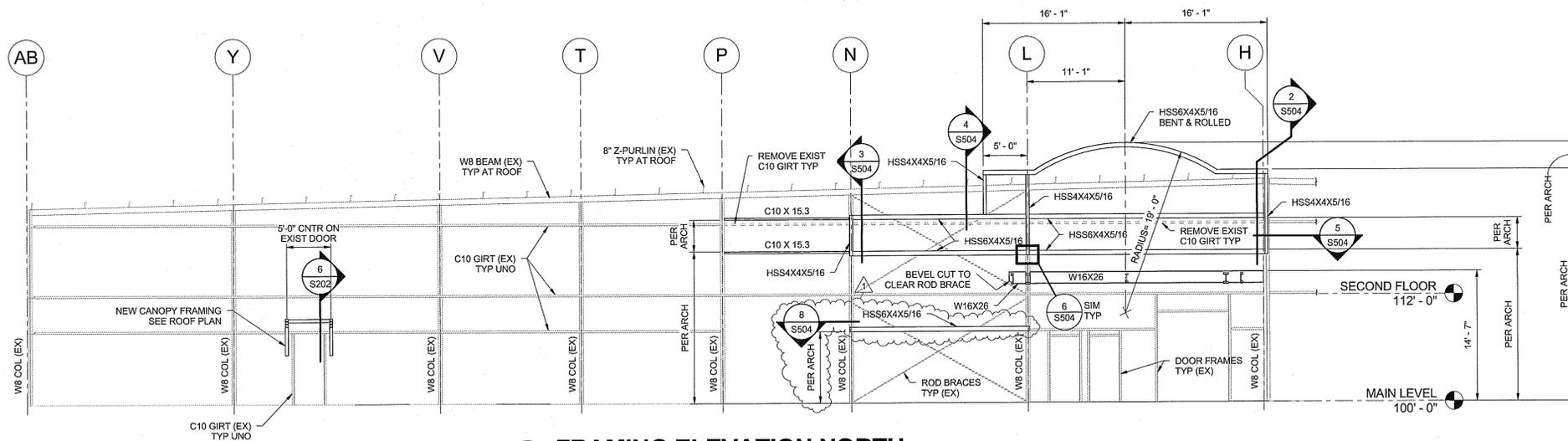
2 CANOPY FRAMING ELEVATION
1/2" = 1'-0"

NOTES:
1. USE 1/4" CAP PLATE AT ENDS OF ALL HSS FRAMING TO FACILITATE FIELD WELDING.
2. HSS FRAMING MEMBERS & ROD BRACE CONNECTIONS ARE ARCHITECTURALLY EXPOSED GRIND ALL FIELD WELDS SMOOTH FOR FINISH APPEARANCE.



3 FRAMING ELEVATION EAST
1/8" = 1'-0"

NOTES:
1. (EX) DENOTES EXISTING MEMBER.
2. ALL MEMBERS SHOWN ARE NEW UNLESS NOTED EXISTING (EX).



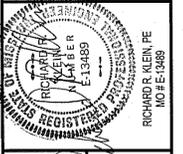
4 FRAMING ELEVATION NORTH
1/8" = 1'-0"

NOTES:
1. (EX) DENOTES EXISTING MEMBER.
2. ALL MEMBERS SHOWN ARE NEW UNLESS NOTED EXISTING (EX).

2-5-10

NO.	DATE	ADDENDUM #	REVISIONS	BY
1	2-5-2010			APPD

Designed By: RRR
 Drawn By: JJB
 Checked By: MUR
 Issue Date: 1-11-2010



SHAFER, KLINE, & WARREN, INC.
 1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1997
 573/442-4537 FAX: 620/365-6828

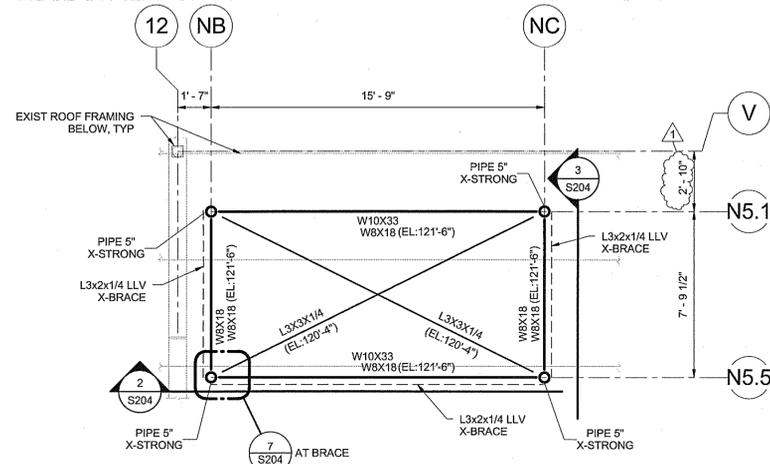
OFFICE LOCATIONS:
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 Kansas City, MO
 St. Louis, MO
 Tulsa, OK

REGISTERED PROFESSIONAL ENGINEERS - MECHANICAL ENGINEERS
 REGISTERED PROFESSIONAL ENGINEERS - LAND SURVEYORS

MISSOURI DEPARTMENT OF TRANSPORTATION
 JEFFERSON CITY, COLE COUNTY, MISSOURI

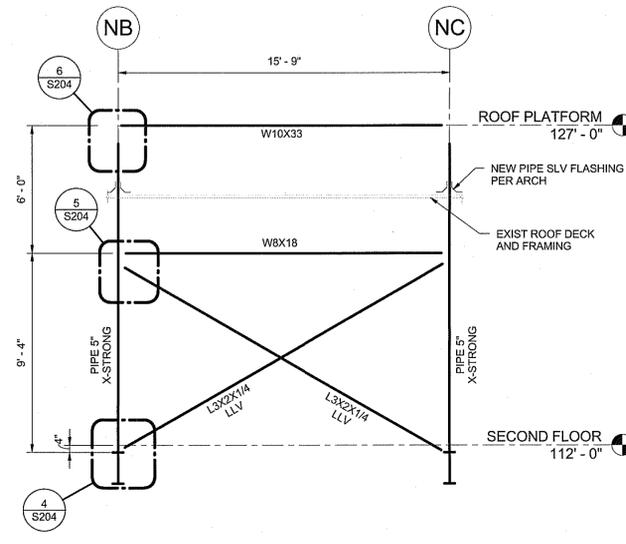
WAREHOUSE RENOVATION PHASE II
 FRAMING ELEVATIONS

800160-040
 SHEET NO.
S203

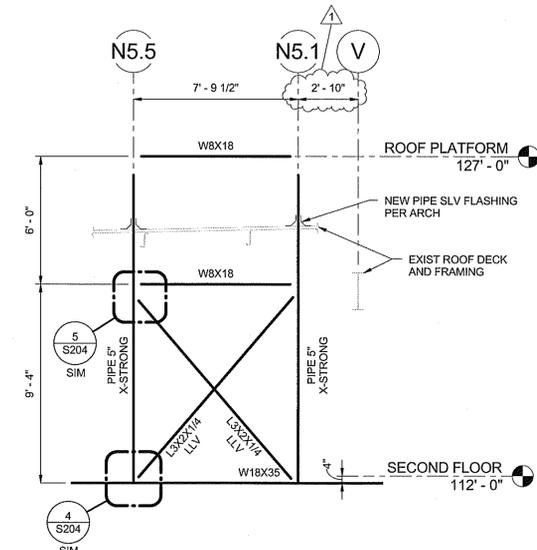


1 RTU SUPPORT FRAMING PLAN
1/4" = 1'-0"

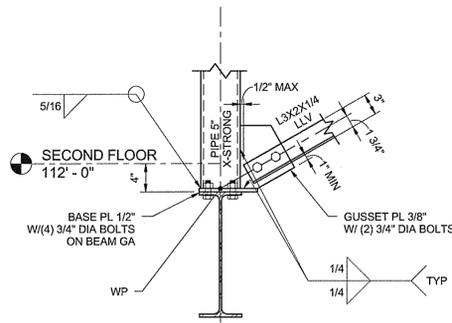
NOTES:
1. TOP OF STEEL BEAM ELEVATIONS = 127'-0" UNLESS NOTED OTHERWISE (EL: X'-X").
2. USE (1) 3/4" DIA BOLT WITH 3/8" STITCH PLATE AT ALL X-BRACE INTERSECTIONS.



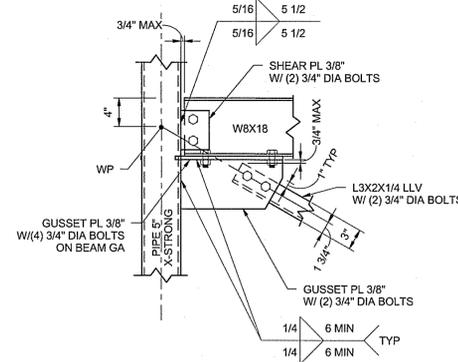
2 RTU FRAMING ELEVATION GRID N5.5
1/4" = 1'-0"



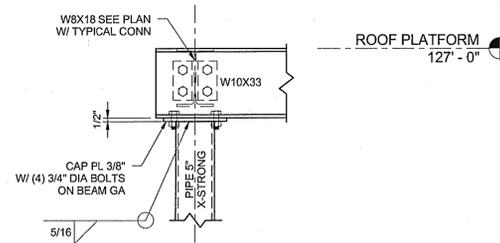
3 RTU FRAMING ELEVATION GRID NB & NC
1/4" = 1'-0"



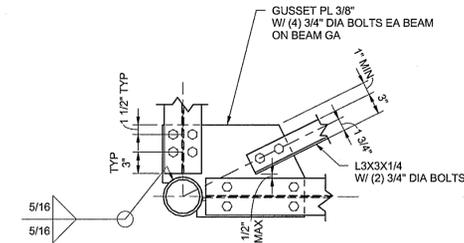
4 TYPICAL DETAIL
1" = 1'-0"



5 TYPICAL DETAIL
1" = 1'-0"



6 TYPICAL DETAIL
1" = 1'-0"



7 TYPICAL DETAIL
1" = 1'-0"

2-5-10

NO.	DATE	ADDENDUM #1	REVISIONS	BY
1	2-5-2010			APPD

Designed By: RRR
 Drawn By: JUB
 Checked By: MMR
 Issue Date: 1-11-2010

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 MISSOURI CERTIFICATE OF AUTHORITY: F0036850
 RICHARD R. KLINE, PE
 NO. E-13489

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 1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1997
 573-442-4537 FAX: 620-365-6828

OFFICE LOCATIONS:
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 Houston, TX

MAJOR OFFICES:
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 North Kansas City, MO
 Tulsa, OK

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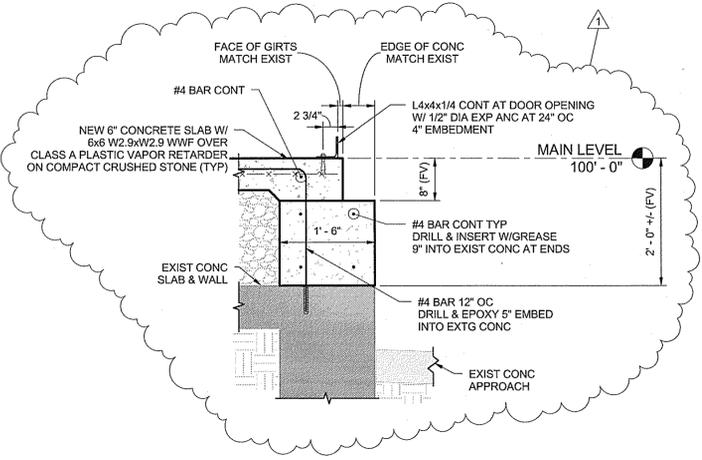
MISSOURI DEPARTMENT OF TRANSPORTATION
 JEFFERSON CITY, COLE COUNTY, MISSOURI

WAREHOUSE RENOVATION PHASE II
 RTU SUPPORT FRAMING

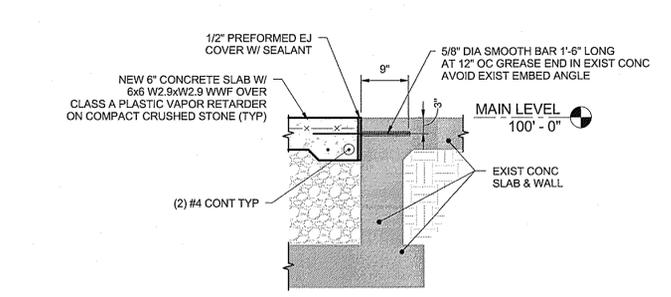
800160-040
 SHEET NO.
S204

PLOT DATE & TIME: 24/02/2010 11:23:35 AM

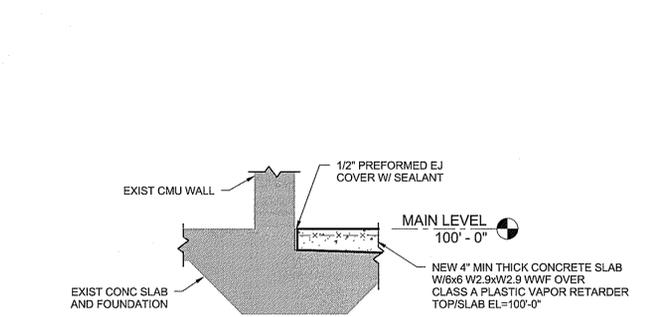
P:\800160-040_Acad\Revit Model\Phase II Model\Local Files\80160-040 McDot\Structural - Phase II_basings.rvt



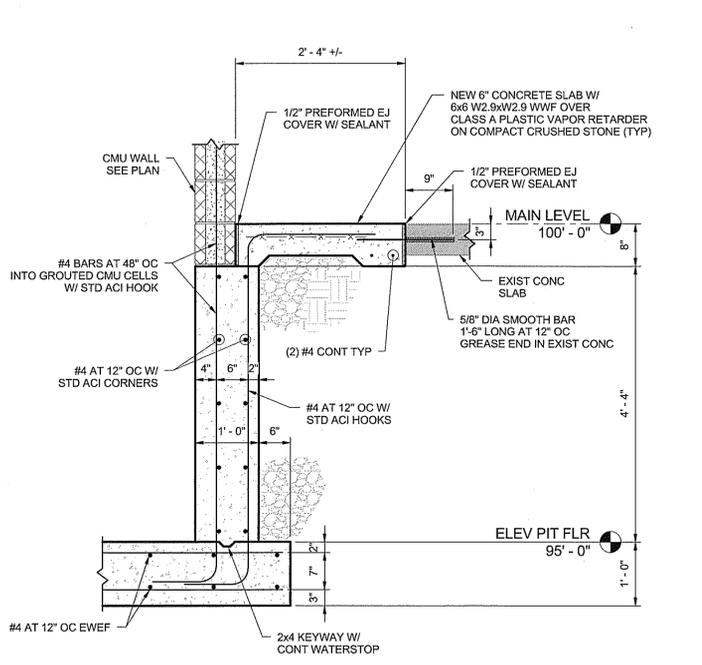
1 SECTION AT EXISTING DOCK LEVELER PIT
3/4" = 1'-0"



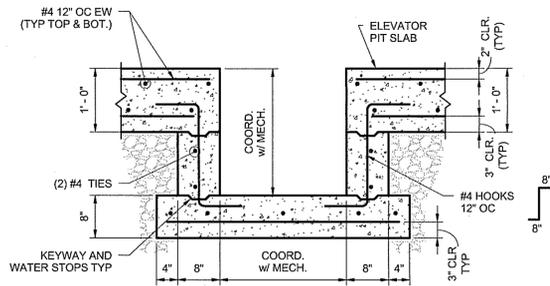
2 SECTION AT EXISTING DOCK LEVELER PIT
3/4" = 1'-0"



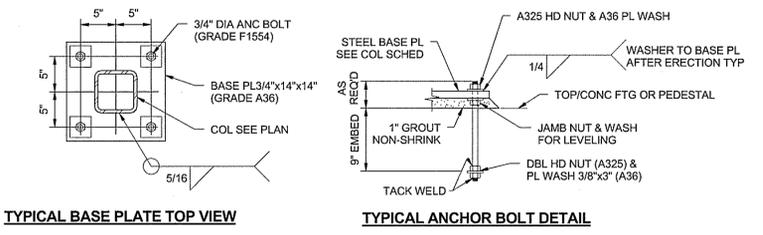
3 SECTION AT FLOOR SLAB FILL
3/4" = 1'-0"



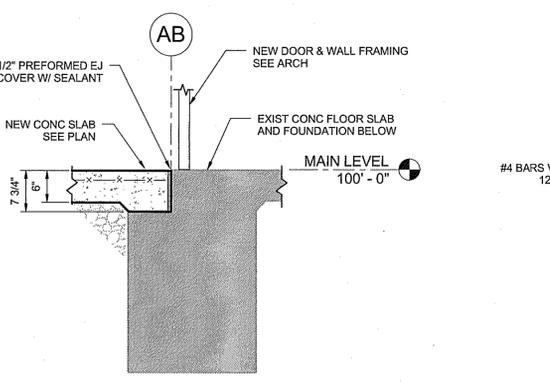
4 ELEVATOR PIT SECTION
3/4" = 1'-0"



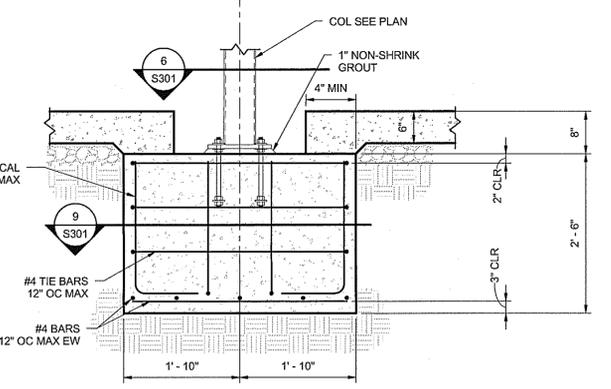
5 ELEVATOR SUMP PIT DETAIL
3/4" = 1'-0"



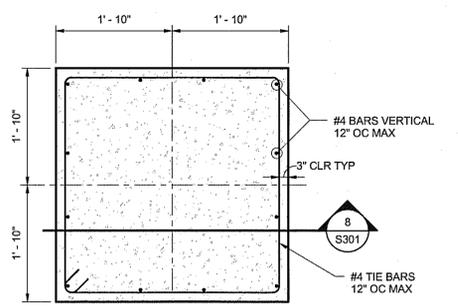
6 TYPICAL COLUMN BASE PLATE
1" = 1'-0"



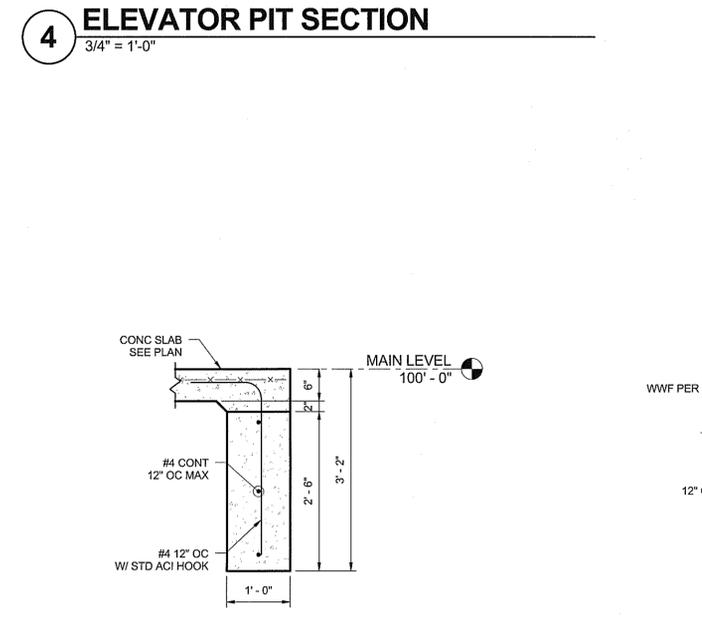
7 CANOPY SECTION
3/4" = 1'-0"



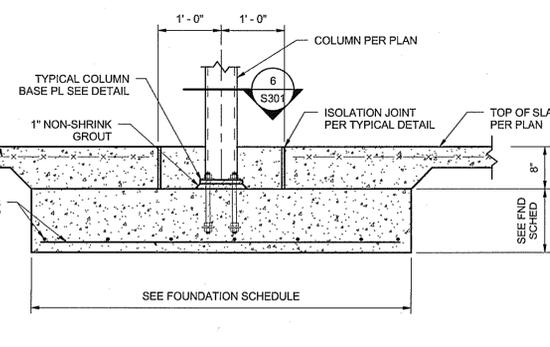
8 F1 FOOTING SECTION VIEW
3/4" = 1'-0"



9 F1 FOOTING PLAN VIEW
3/4" = 1'-0"



10 CANOPY SLAB EDGE
3/4" = 1'-0"



11 TYPICAL FOOTING SECTION VIEW
3/4" = 1'-0"

2-S-10

NO.	DATE	ADDENDUM #1	REVISIONS	BY	APPD
1	2-5-2010			JUB	RICHARD R. KLEIN, P.E.
			DESIGNED BY:	DRAWN BY:	CHECKED BY:
			RJK	JUB	MIR
			ISSUE DATE:	1-11-2010	

MISSOURI REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 113489
 RICHARD R. KLEIN, P.E.
 MISSOURI CERTIFICATE OF AUTHORITY: F0013850

SHAFER, KLINE, & WARREN, INC.
 1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1987
 573.442.4537 FAX: 573.365.6828

OFFICE LOCATIONS:
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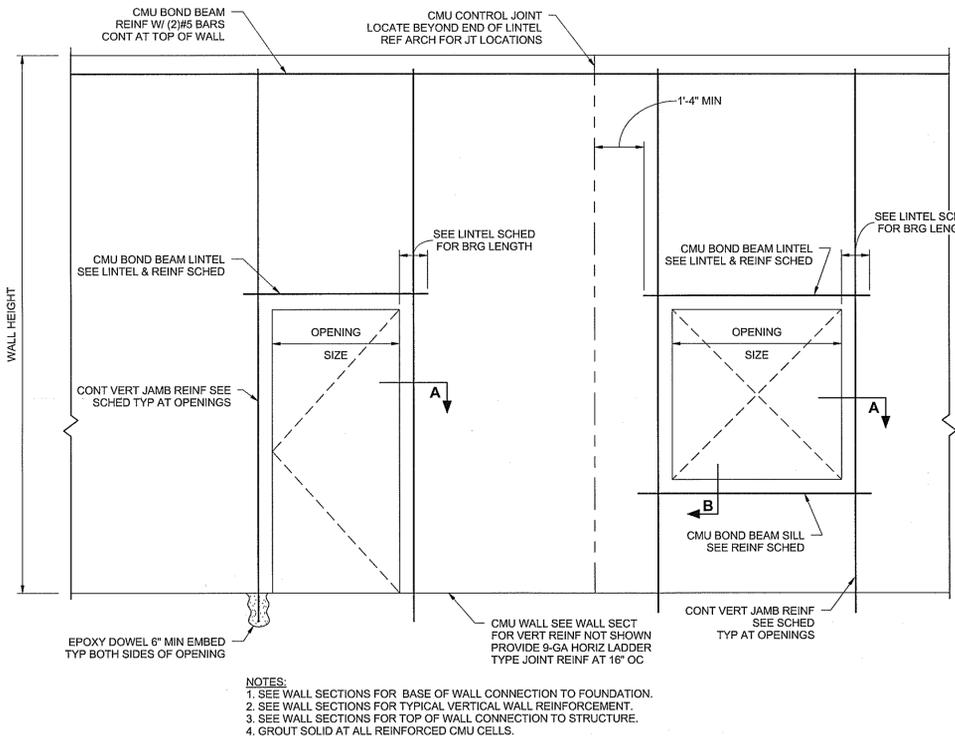
MISSOURI DEPARTMENT OF TRANSPORTATION
 JEFFERSON CITY, COLE COUNTY, MISSOURI
 WAREHOUSE RENOVATION PHASE II
 FOUNDATION SECTIONS

800160-040
 SHEET NO.
S301

P:\2009\11-23-09\44

REVISION DATE & TIME

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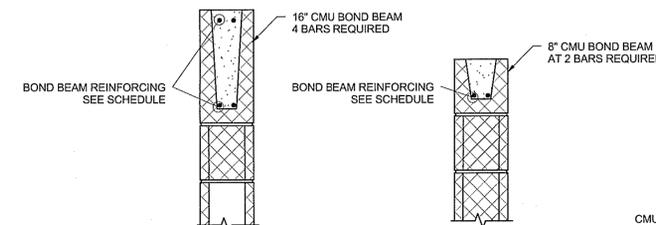


- NOTES:
1. SEE WALL SECTIONS FOR BASE OF WALL CONNECTION TO FOUNDATION.
 2. SEE WALL SECTIONS FOR TYPICAL VERTICAL WALL REINFORCEMENT.
 3. SEE WALL SECTIONS FOR TOP OF WALL CONNECTION TO STRUCTURE.
 4. GROUT SOLID AT ALL REINFORCED CMU CELLS.

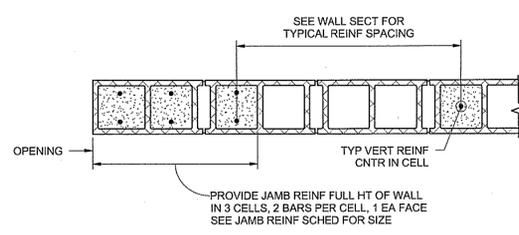
JAMB REINFORCING SCHEDULE (AT EACH SIDE OF CMU OPENING)				
WALL HEIGHT	OPENING SIZE			
	≤8'-0"	10'-0"	12'-0"	14'-0"
≤9'-0"	2-#4	2-#4	2-#4	2-#5
10'-0"	2-#4	2-#5	2-#5	2-#5
12'-0"	2-#5	2-#5	2-#6	2-#6
15'-0"	2-#6	2-#7	2-#7	4-#6

BOND BEAM REINFORCING SCHEDULE				
SILL OPENING	≤8'-0"	10'-0"	12'-0"	14'-0"
REINFORCING	2-#4	2-#5	2-#5	4-#5

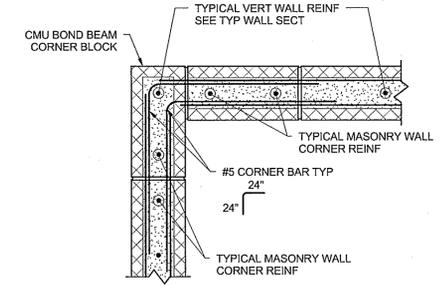
CMU LINTEL SCHEDULE		
OPENING WIDTH	≤8'-0"	>8'-0" TO <16'-1"
CMU BOND BEAM DEPTH	8"	16"
BEARING LENGTH	8"	16"



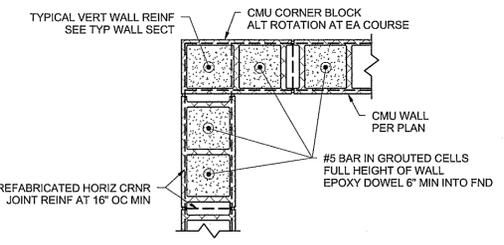
SECTION B



SECTION A

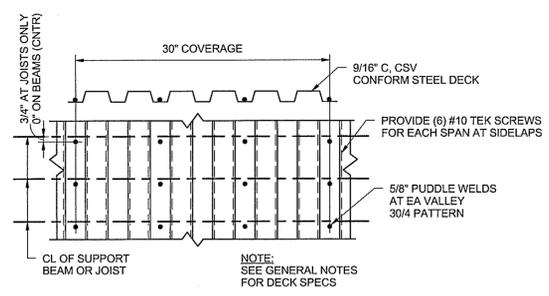


TYPICAL MASONRY BOND BEAM CORNER BAR DETAIL

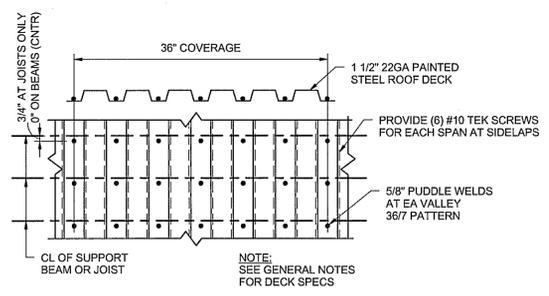


TYPICAL MASONRY WALL CORNER REINFORCING DETAIL

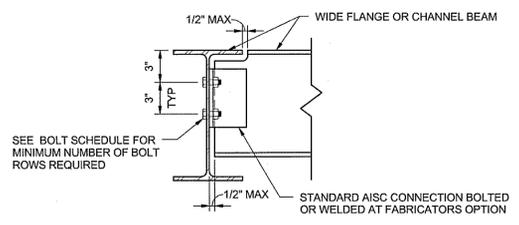
1 TYPICAL OPENING DETAILS AT CMU MASONRY WALL
1" = 1'-0"



TYPICAL FLOOR DECK ATTACHMENT



TYPICAL ROOF DECK ATTACHMENT

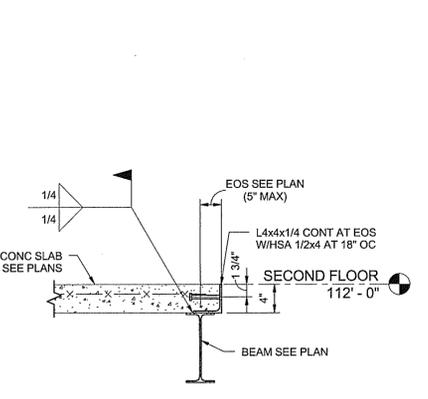


NOTE: WHERE MEMBER POSITION PROHIBITS THE USE OF A STANDARD CONNECTION, A EQUIVALENT CONNECTION SHALL BE PROVIDED.

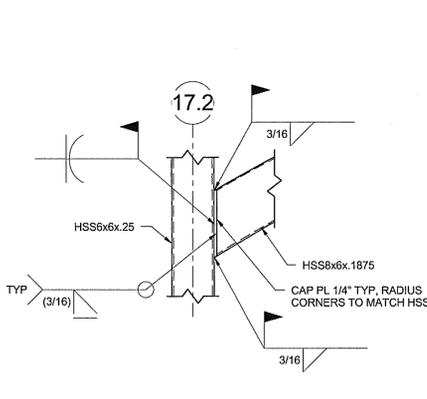
BOLT SCHEDULE MINIMUM ROWS OF 3/4"Ø A325 BOLTS	
BEAM SIZE	# OF ROWS
W8	2
W10	2
W12	3
W14	3
W16	4
W18	5
W21	6
W24	6
W27	8
W30	9
W33	10

3 TYPICAL BEAM CONNECTION
1 1/2" = 1'-0"

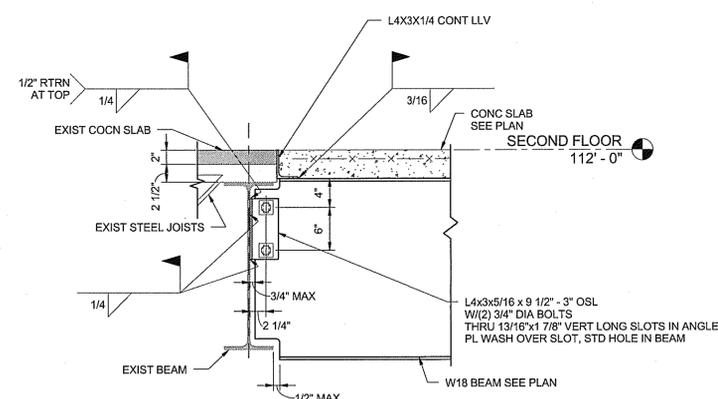
2 TYPICAL DECK FASTENING
1" = 1'-0"



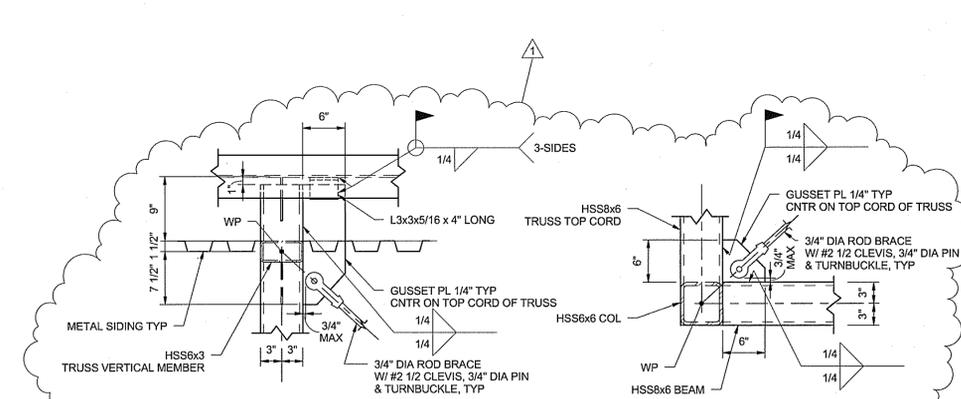
4 TYPICAL SLAB EDGE SECTION
1" = 1'-0"



5 TRUSS DETAIL
1" = 1'-0"



6 TYPICAL W18 BEAM CONNECTION TO EXISTING BEAM
1" = 1'-0"



7 DETAIL
1" = 1'-0"

8 DETAIL
1" = 1'-0"

NO.	DATE	ADDENDUM #1	REVISIONS	BY
1	2-5-2010			ARR

Designed By: RRR
 Drawn By: JJB
 Checked By: MIR
 Issue Date: 1-11-2010
 RICHARD R. KLINE, P.E.
 MISSOURI REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 13459
 MISSOURI CERTIFICATE OF AUTHORITY: F0013580

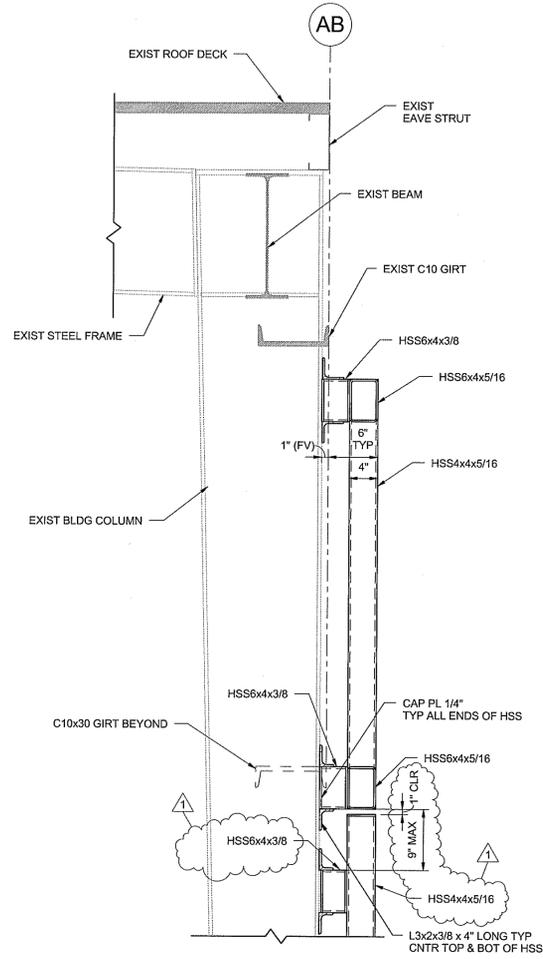
SHAFER, KLINE, & WARREN, INC.
 1400 Forum Boulevard, Suite 10A, Columbia, MO 65203-1997
 573.442.4537 FAX: 620.565.6828

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 Ia, KS
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 North Kansas City, MO
 Tulsa, OK

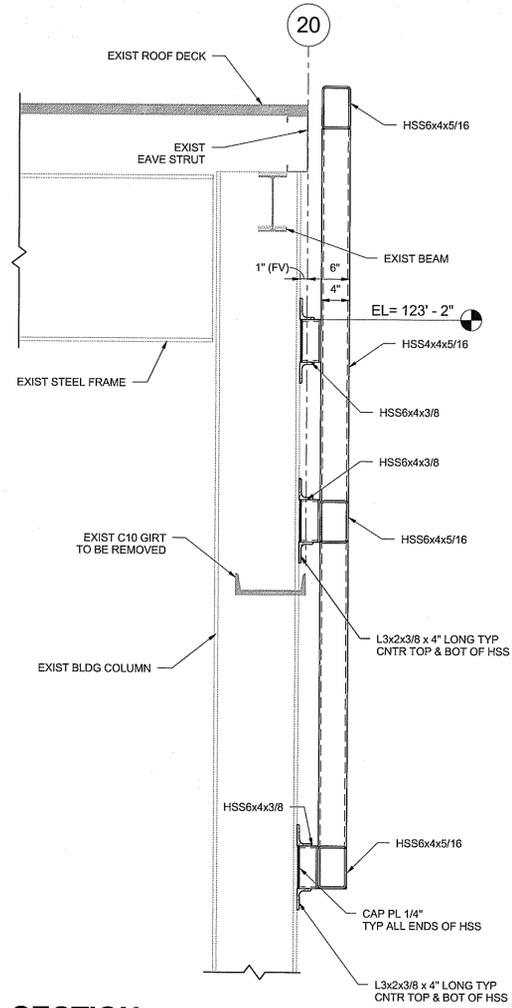
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MISSOURI DEPARTMENT OF TRANSPORTATION
 JEFFERSON CITY, COLE COUNTY, MISSOURI

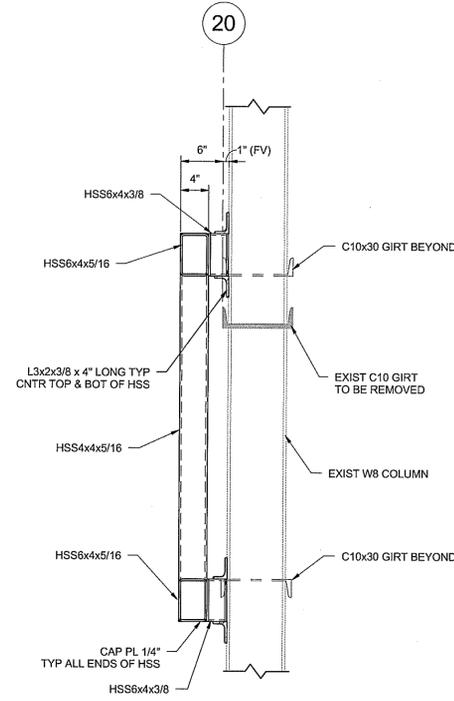
WAREHOUSE RENOVATION PHASE II
 FRAMING SECTIONS



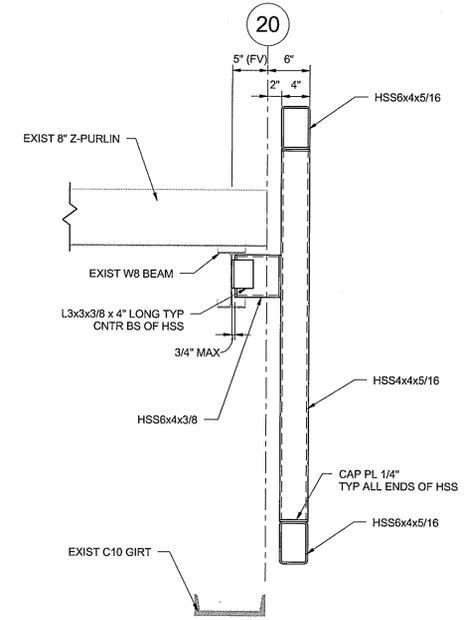
1 SECTION
1" = 1'-0"



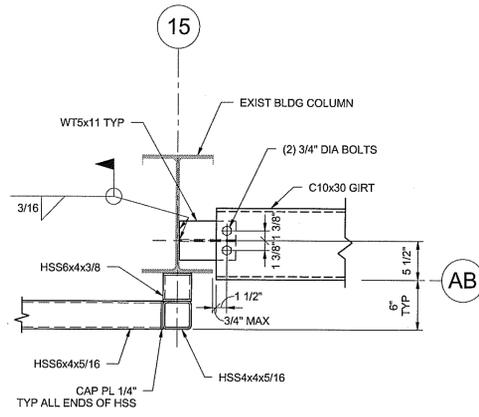
2 SECTION
1" = 1'-0"



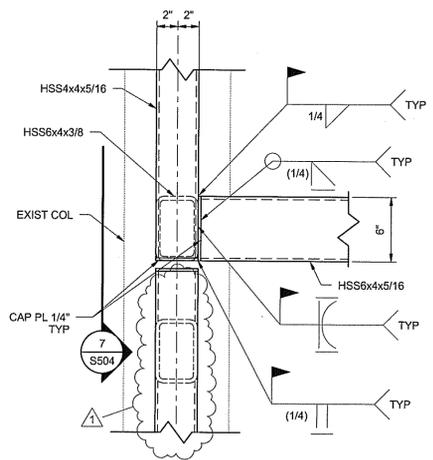
3 SECTION
1" = 1'-0"



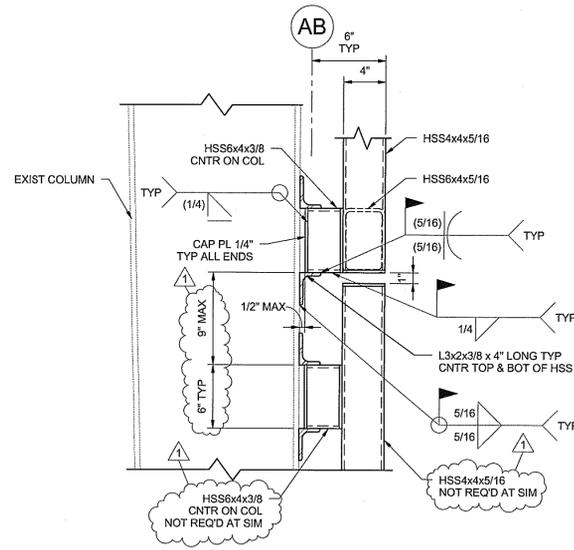
4 SECTION
1" = 1'-0"



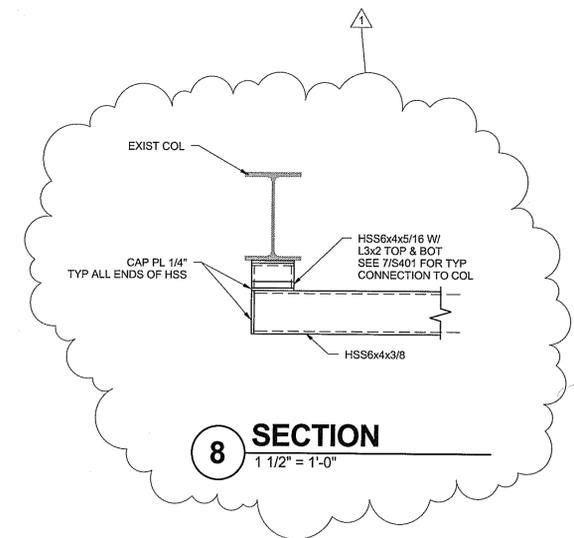
5 SECTION
1" = 1'-0"



6 TYPICAL WINDOW FRAME DETAIL
1 1/2" = 1'-0"



7 TYPICAL WINDOW FRAME DETAIL
1 1/2" = 1'-0"



8 SECTION
1 1/2" = 1'-0"

NO.	DATE	ADDENDUM #1	REVISIONS	BY
1	2-5-2010			APPD

Designed By: BRK	JOB	MJR	Issue Date: 1-11-2010
Drawn By:			
Checked By:			

SHAFFER, KLINE, & WARREN, INC.
 1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1997
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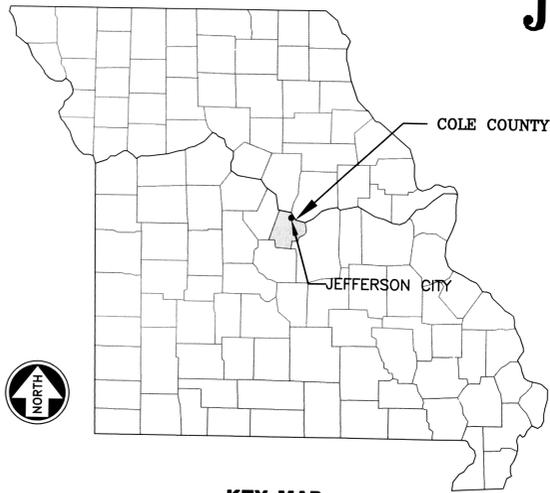
OFFICE LOCATIONS:
 Columbia, MO
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 Memphis, TN
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 Tulsa, OK

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MISSOURI DEPARTMENT OF TRANSPORTATION

WAREHOUSE RENOVATIONS PHASE II

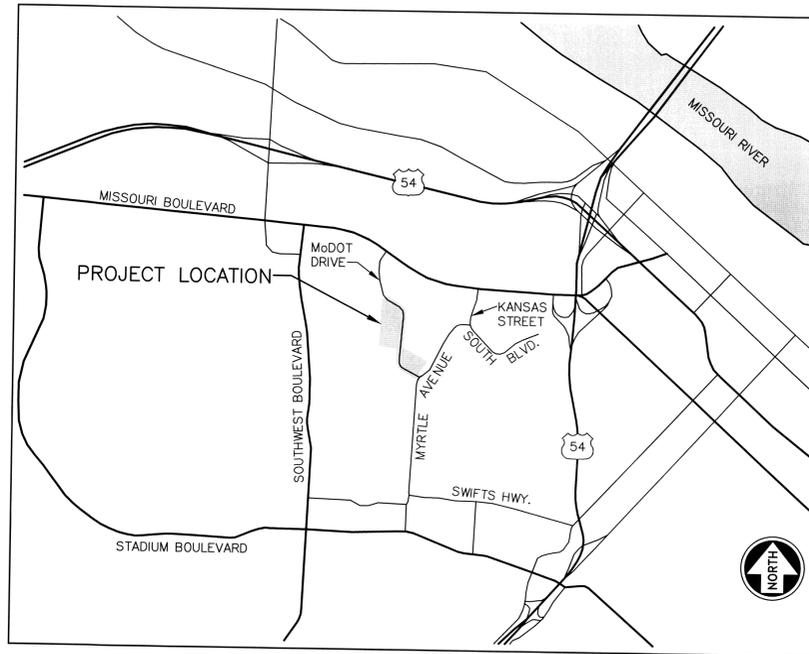
JEFFERSON CITY, COLE COUNTY, MISSOURI



KEY MAP
 SHOWING LOCATION OF COUNTY

NOTES TO CONTRACTOR:

- UNDERGROUND UTILITIES HAVE BEEN SHOWN FROM APPROXIMATE LOCATIONS PROVIDED BY UTILITY COMPANIES, THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF THE LOCATIONS OF UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, WILL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR.
- CONTRACTOR SHALL MAKE EVERY EFFORT TO ASSURE MINIMUM CLEARANCE BETWEEN SEWER LINES AND WATER LINES (10' HORIZONTAL, 18" VERTICAL AT CROSSINGS).
- ALL ROADS, DRIVEWAYS, CULVERTS, SIDEWALKS, FENCES, AND LANDSCAPING DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED.
- ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMITY WITH THE CITY OF JEFFERSON CITY STANDARDS.
- IT IS THE INTENT OF THESE PLANS TO COMPLY WITH THE REQUIREMENTS OF THE MISSOURI CLEAN WATER COMMISSION.
- SILT FENCE SHALL BE PLACED AS INDICATED ON THE PLANS



SW 1/4, SECTION 12, TOWNSHIP 44 NORTH, RANGE 12 WEST
PROJECT LOCATION MAP
 NOT TO SCALE

ESTIMATED CIVIL QUANTITIES		
DESCRIPTION	UNITS	QUANTITY
REMOVALS		
ASPHALT	SQ YD	580
CONCRETE	SQ YD	256
GRAVEL	SQ YD	48
FENCE	LF	103
STREET - BASE BID		
CONCRETE PAVEMENT / CURB COMBINED	SQ YD	744
STREET - ALTERNATE BID		
ASPHALT	SQ YD	622
CURB	LF	433
PARKING LOT - BASE BID		
CONCRETE PAVEMENT / CURB COMBINED	SQ YD	5099
PARKING LOT - ALTERNATE BID		
ASPHALT	SQ YD	4798
CURB	LF	990
SIDEWALK		
SIDEWALK - 5' WIDE	LF	638
SIDEWALK - 6' WIDE	LF	279
RETAINING WALL		
SEGMENTAL RETAINING WALL	LF	252
FENCE		
CHAIN LINK FENCE	LF	950
STORM SEWER		
24" RCP	LF	47
18" RCP	LF	22
15" RCP	LF	73
24" RCP END SECTION	EA	1
4' x 4' FIELD INLET - OPEN 4 SIDES	EA	1
4' x 4' JUNCTION BOX	EA	1
5' x 4' CURB INLET	EA	1
RIPRAP	SQ YD	366
RELLOCATE ROOF DRAINS	EA	4
6" PVC	LF	35
6" PVC 45° BENDS	EA	4
EROSION CONTROL		
SILT FENCE	LF	1313
STRAW BALE DITCH CHECK	EA	2
STRAW BALE INLET PROTECTION	EA	2
GRADING		
CUT	CU YD	6085
FILL	CU YD	1204

UTILITIES

- SEWER - CITY OF JEFFERSON WASTEWATER COLLECTIONS
 2320 HYDE PARK ROAD
 JEFFERSON CITY, MO 65109
 (573) 634-6455
 www.jeffcitymo.org
- ELECTRIC & GAS - AMEREN UE
 2717 INDUSTRIAL DRIVE
 JEFFERSON CITY, MO 65109
 (573) 635-0171
 1-800-552-7583
- WATER - MISSOURI AMERICAN WATER CO.
 906 W. HIGH STREET
 JEFFERSON CITY, MO 65109
 (866) 430-0820
- PHONE - CENTURYLINK
 319 MADISON STREET
 JEFFERSON CITY, MO 65101
 (573) 634-1704

INDEX OF SHEETS				
#	NAME	ISSUE DATE	REVISION No.	REVISION DATE
G100	COVER SHEET	1-11-2010		
C010	EXISTING CONDITIONS	1-11-2010	1	2-05-2010
C020	DEMOLITION PLAN	1-11-2010		
C030	GRADING, EROSION CONTROL & FENCE PLAN	1-11-2010	1	2-05-2010
C040	PARKING LOT DIMENSION PLAN	1-11-2010		
C050	ELEVATION PLAN	1-11-2010		
C060	STORM SEWER PLAN & PROFILE	1-11-2010		
C070	SIDEWALK PLAN & PROFILE	1-11-2010		
C080	RETAINING WALL DETAILS	1-11-2010	1	2-05-2010
C090	PARKING LOT DETAILS	1-11-2010		
C100	STREET AND FENCE DETAILS	1-11-2010	1	2-05-2010
C110	STORM SEWER DETAILS	1-11-2010		
C120	STORM SEWER DETAILS	1-11-2010		
C130	EROSION CONTROL DETAILS	1-11-2010		
L100	LANDSCAPE PLAN	1-11-2010		
A0.1	BUILDING CODE INFORMATION	1-11-2010		
A0.2	OVERALL FIRE KEY	1-11-2010	1	2-05-2010
A0.3	ENLARGED FIRE KEY MAIN LEVEL	1-11-2010		
A0.4	ENLARGED FIRE KEY SECOND LEVEL	1-11-2010	1	2-05-2010
D1.1	DEMOLITION PLAN	1-11-2010		
D1.2	DEMOLITION ELEVATIONS	1-11-2010	1	2-05-2010
A1.1	OVERALL MAIN LEVEL PLAN	1-11-2010		
A1.2	OVERALL SECOND LEVEL PLAN	1-11-2010		
A1.3	OVERALL ROOF PLAN	1-11-2010		
A1.4	ENLARGED REFLECTED CEILING PLAN MAIN LEVEL	1-11-2010		
A1.5	ENLARGED REFLECTED CEILING PLAN SECOND LEVEL	1-11-2010		
A2.1	EXTERIOR ELEVATIONS	1-11-2010		
A4.1	ENLARGED FLOOR PLAN MAIN LEVEL	1-11-2010		
A4.2	ENLARGED FLOOR PLAN SECOND LEVEL	1-11-2010		
A4.3	ENLARGED PLANS & DETAILS	1-11-2010		
A4.4	ENLARGED PLANS & DETAILS	1-11-2010		
A4.5	ENLARGED PLANS & DETAILS	1-11-2010		
A4.6	ENLARGED PLANS & DETAILS	1-11-2010		
A4.7	ENLARGED PLANS & DETAILS	1-11-2010		
A4.8	STAIR A DETAILS	1-11-2010		
A4.9	STAIR B DETAILS	1-11-2010		
A4.10	STAIR C DETAILS	1-11-2010		
A4.11	ENLARGED PLANS & DETAILS	1-11-2010		
A4.12	ENLARGED PLANS & DETAILS	1-11-2010		
A5.1	WALL SECTIONS	1-11-2010		
A5.2	WALL SECTIONS	1-11-2010	1	2-05-2010
A5.3	WALL SECTIONS	1-11-2010	1	2-05-2010
A5.4	DETAILS	1-11-2010	1	2-05-2010
A5.5	STORE FRONT DETAILS	1-11-2010	1	2-05-2010
A6.1	SCHEDULES	1-11-2010		
A6.2	SCHEDULES	1-11-2010		
A6.3	STOREFRONT TYPES	1-11-2010	1	2-05-2010
ADA-1	ADA FIGURES 1-11	1-11-2010		
ADA-2	ADA FIGURES 12-28	1-11-2010		
ADA-3	ADA FIGURES 29-48	1-11-2010		
S001	ABBREVIATIONS & SYMBOLS	1-11-2010		
S002	GENERAL STRUCTURAL NOTES	1-11-2010		
S101	FOUNDATION PLAN	1-11-2010		
S102	FOUNDATION PLAN	1-11-2010		
S103	SECOND FLOOR FRAMING PLAN	1-11-2010	1	2-05-2010
S201	ROOF FRAMING PLAN	1-11-2010	1	2-05-2010
S202	ENLARGED PLANS	1-11-2010	1	2-05-2010
S203	ENLARGED PLANS & DETAILS	1-11-2010	1	2-05-2010
S204	RTU SUPPORT FRAMING	1-11-2010	1	2-05-2010
S301	FOUNDATION SECTIONS	1-11-2010	1	2-05-2010
S401	STAIR PLANS	1-11-2010		
S501	FRAMING SECTIONS	1-11-2010		
S502	FRAMING SECTIONS	1-11-2010	1	2-05-2010
S503	STAIR FRAMING SECTIONS	1-11-2010	1	2-05-2010
S504	WINDOW FRAME SECTIONS	1-11-2010		
MD1	MECHANICAL DEMOLITION PLAN	1-11-2010	1	2-05-2010
ME1	PARKING LOT SITE PLAN	1-11-2010		
ME2	SCHEDULES AND DETAILS	1-11-2010		
ME3	SCHEDULES AND DETAILS	1-11-2010	1	2-05-2010
M1	MAIN LEVEL PLUMBING PLAN	1-11-2010		
M2	MEZZANINE PLUMBING PLAN	1-11-2010		
M3	MAIN LEVEL HVAC PLAN	1-11-2010		
M4	MEZZANINE HVAC PLAN	1-11-2010	1	2-05-2010
M5	MAIN LEVEL HVAC PIPING PLAN	1-11-2010	1	2-05-2010
M6	MEZZANINE HVAC PIPING PLAN	1-11-2010	1	2-05-2010
ED1	ELECTRICAL DEMOLITION PLAN	1-11-2010		
E1	MAIN LEVEL POWER PLAN	1-11-2010	1	2-05-2010
E2	MEZZANINE POWER PLAN	1-11-2010	1	2-05-2010
E3	MAIN LEVEL LIGHTING PLAN	1-11-2010	1	2-05-2010
E4	MEZZANINE LIGHTING PLAN	1-11-2010	1	2-05-2010
E5	MAIN LEVEL LOW VOLTAGE PLAN	1-11-2010		
E6	MEZZANINE LOW VOLTAGE PLAN	1-11-2010		
E7	PANEL SCHEDULES	1-11-2010		
FA1	MAIN LEVEL FIRE ALARM PLAN	1-11-2010	1	2-05-2010
FA2	MEZZANINE FIRE ALARM PLAN	1-11-2010		

BENCHMARK

- BENCHMARK
 CHISELED SQUARE IN CONCRETE AT BUILDING ENTRANCE (53'± SOUTH OF NORTHEAST CORNER OF BUILDING).
 ELEVATION = 100.00
- TEMPORARY BENCHMARK
 CHISELED SQUARE ON NORTH SIDE OF PAVEMENT OF ENTRANCE DRIVE (72'± WEST OF MYRTLE AVENUE).
 ELEVATION = 99.63

P:\800160-040\ACAD\CIVIL\800160-040-C-501-00.DWG
 LAYOUT: COVER BY: WILLIAMS DATE: 2/5/2010
 XREF DWG1: NONE XREF DWG2: NONE
 XREF DWG3: NONE XREF DWG4: NONE

5					
4					
3					
2					
1	2-05-10	General Revisions Per MDOT	RAY	MJR	BY APPD
NO.	DATE	REVISIONS	BY		
COPYRIGHT © 2010 SHAFER, KLINE & WARREN INC.					
MISSOURI CERTIFICATE OF AUTHORITY: F00139850					

Designed By: RW
 Drawn By: ELM
 Checked By: MMH
 Issue Date: 1-11-10

MICHAEL MELVIN HALL
 REGISTERED PROFESSIONAL ENGINEER
 NUMBER E-000044
 E-30044 2-5-10

SHAFER, KLINE & WARREN, INC.
 1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1997
 573/442-4537 FAX: 573/442-4543

OFFICE LOCATIONS:
 Columbia, MO
 Chicago, IL
 Houston, TX
 Kansas City, MO
 Lenexa, KS
 Macon, MO
 North Kansas City, MO
 Tulsa, OK

CIVIL ENGINEERS ELECTRICAL ENGINEERS MECHANICAL ENGINEERS STRUCTURAL ENGINEERS LANDSCAPE ARCHITECTS LAND SURVEYORS AND PLANNERS

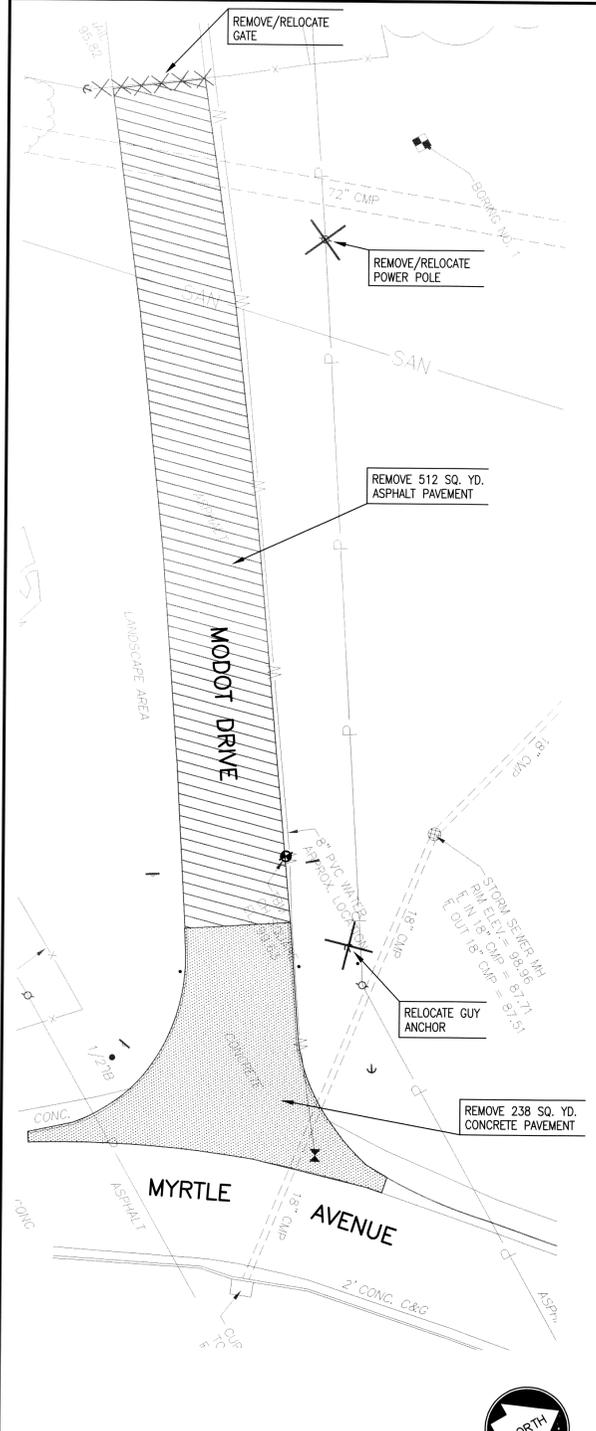
MISSOURI DEPARTMENT OF TRANSPORTATION
 JEFFERSON CITY, MISSOURI

WAREHOUSE RENOVATIONS PHASE II
 COVER SHEET

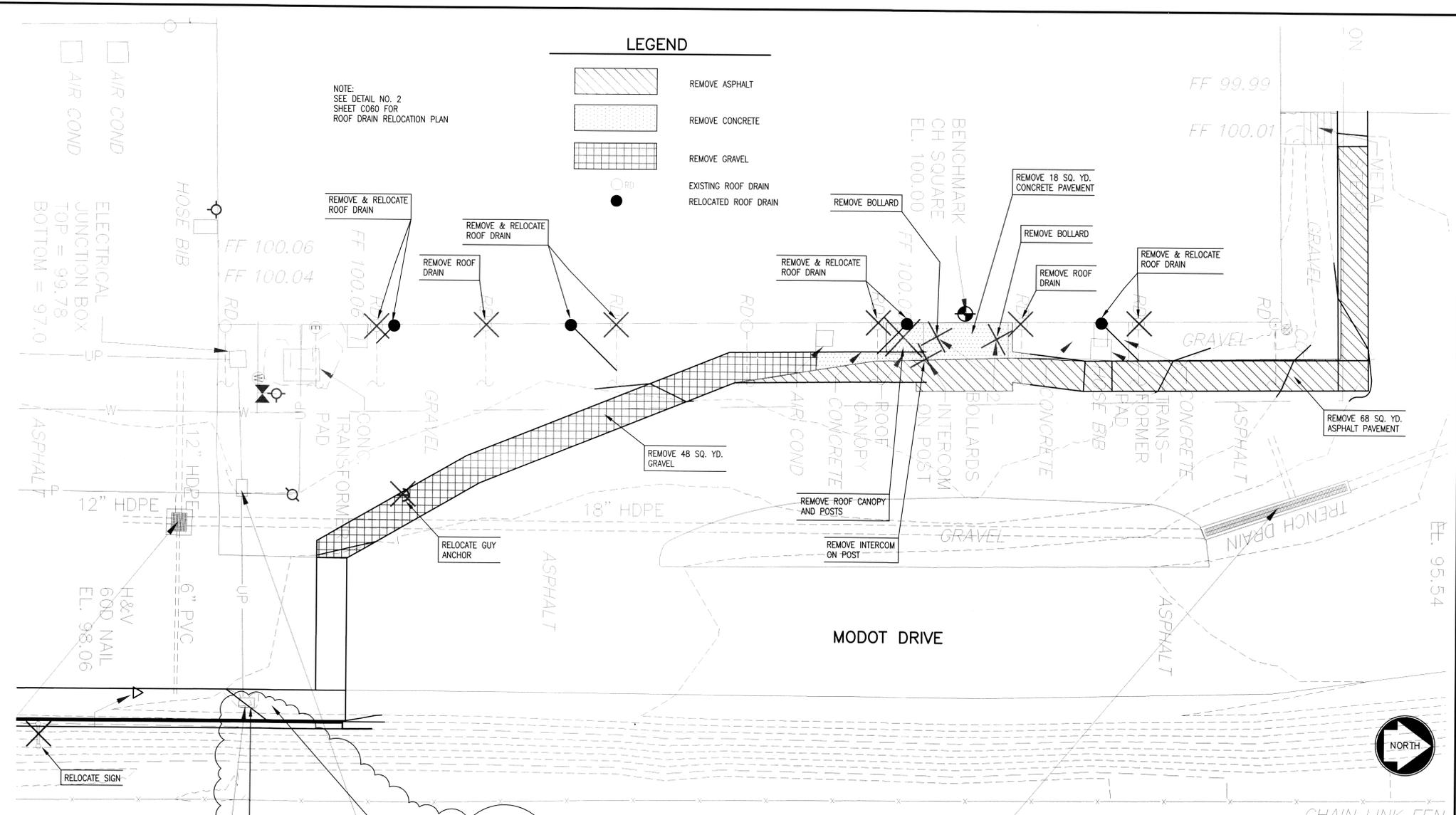
800160-040
 SHEET NO.
G100

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 LAYOUT: DEMOLITION BY: WILLIAMS DATE: 2/5/2010
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 XREF DWG3: NONE XREF DWG4: NONE

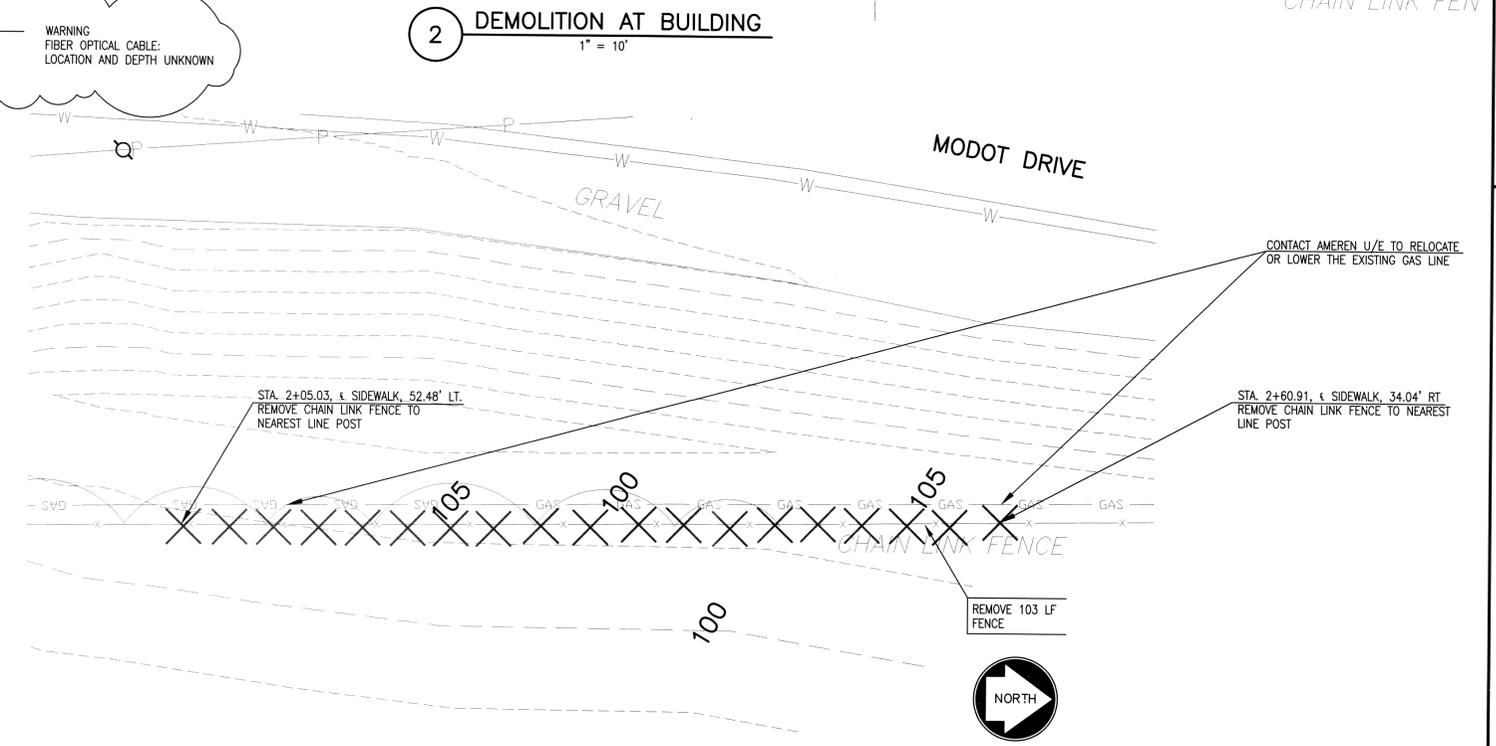
1 DEMOLITION AT PARKING LOT
 1" = 20'



2 DEMOLITION AT BUILDING
 1" = 10'



3 FENCE REMOVAL
 1" = 10'



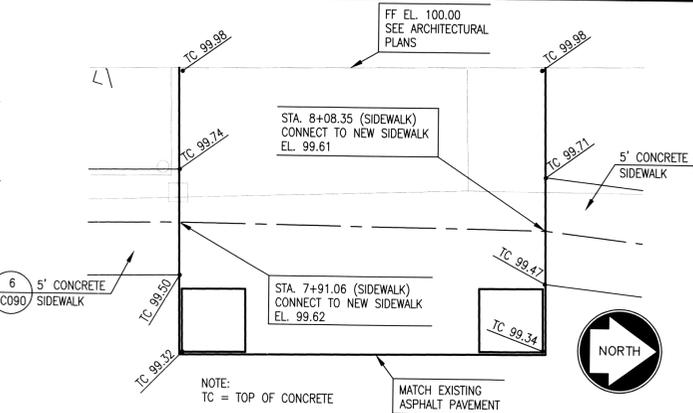
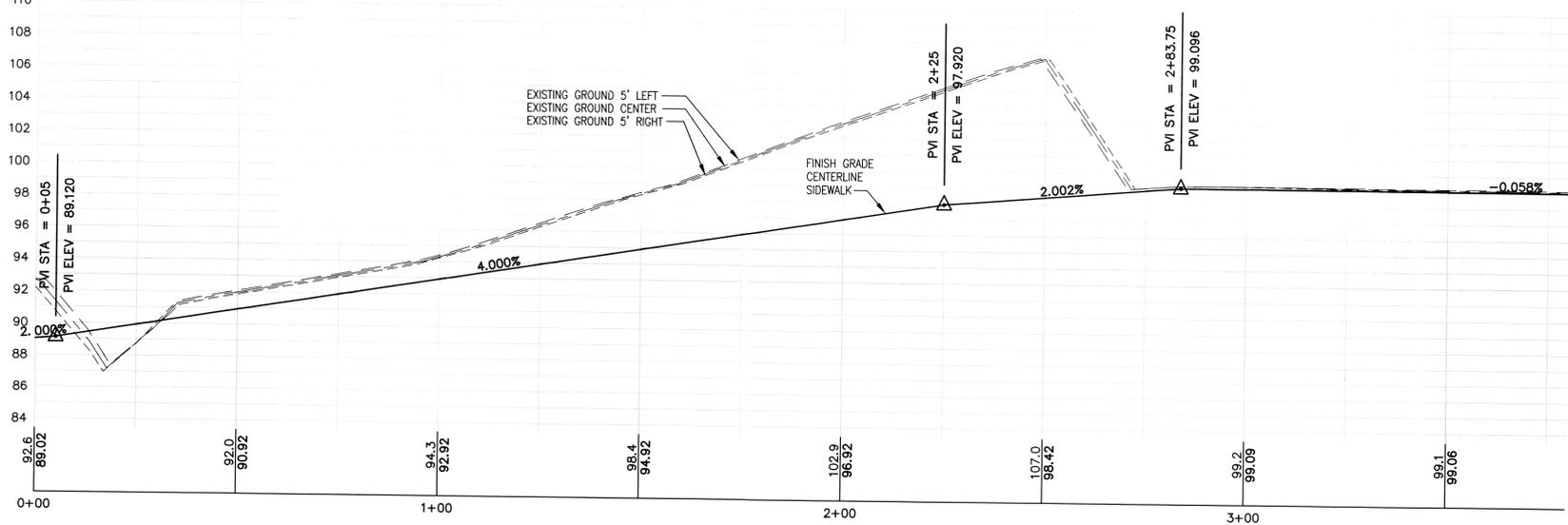
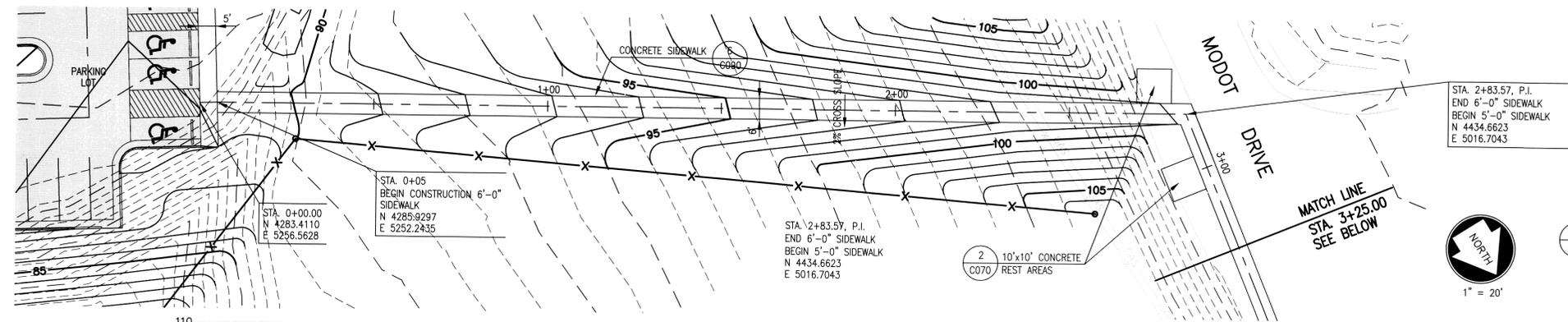
LEGEND

- REMOVE ASPHALT
- REMOVE CONCRETE
- REMOVE GRAVEL
- EXISTING ROOF DRAIN
- RELOCATED ROOF DRAIN

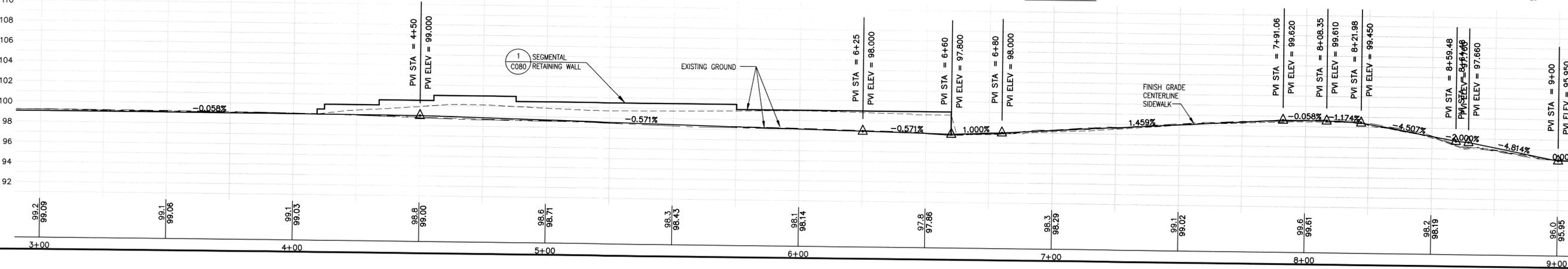
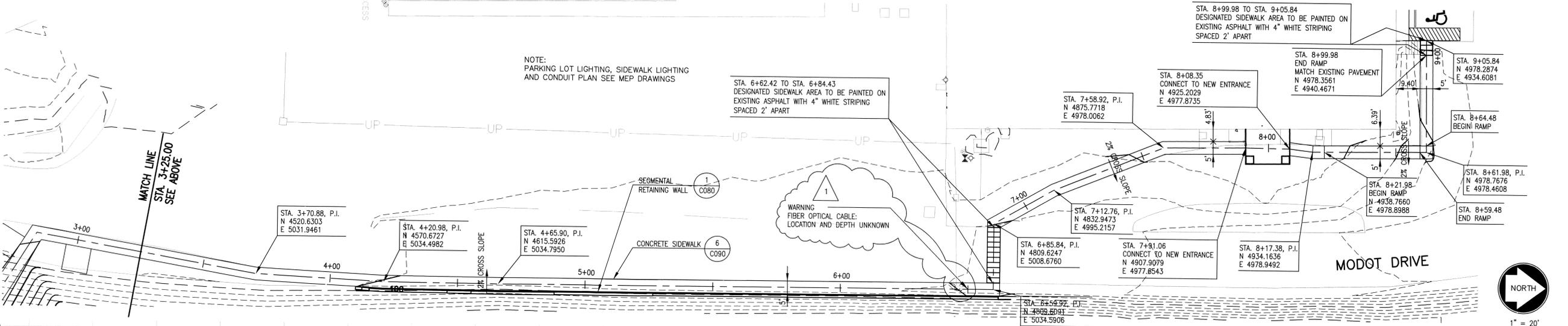
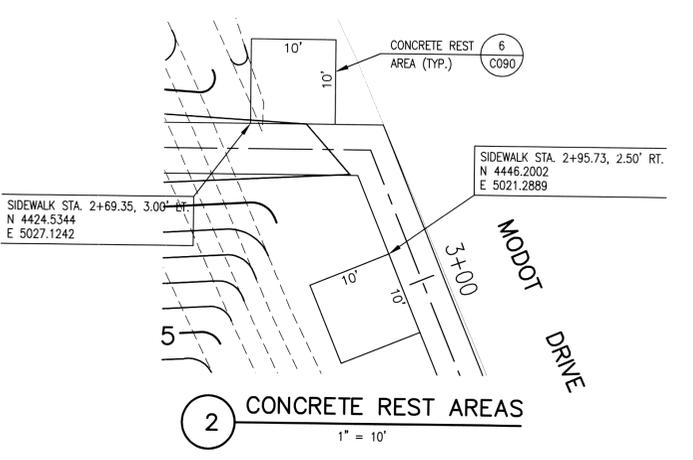
NOTE:
 SEE DETAIL NO. 2
 SHEET C060 FOR
 ROOF DRAIN RELOCATION PLAN

<p>SHAFER, KLINE & WARREN, INC. 1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1987 573/442-4537 FAX: 573/442-4943</p> <p>OFFICE LOCATIONS: Chillicothe, MO Columbia, MO Houston, TX</p> <p>MECHANICAL ENGINEERS ELECTRICAL ENGINEERS STRUCTURAL ENGINEERS LANDSCAPE ARCHITECTS LAND SURVEYORS LAND PLANNERS</p>	<p>MADE IN MISSOURI MICHAEL MELVIN HALL REGISTERED PROFESSIONAL ENGINEER NUMBER E-20094 EXPIRES 12-31-10</p> <p>DESIGNED BY: RW DRAWN BY: ELM CHECKED BY: MMH ISSUE DATE: 1-11-10</p> <p>MISSOURI CERTIFICATE OF AUTHORITY: E00139850</p>
<p>MISSOURI DEPARTMENT OF TRANSPORTATION JEFFERSON CITY, MISSOURI</p>	
<p>WAREHOUSE RENOVATIONS PHASE II DEMOLITION PLAN</p>	
<p>800160-040 SHEET NO. C020</p>	

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 LAYOUT: SIDEWALK P&T BY: RWILLIAMS DATE: 2/5/2010
 XREF DWG1: NONE XREF DWG2: NONE
 XREF DWG3: NONE XREF DWG4: NONE



1 MAIN ENTRANCE SLAB
1/4" = 1'



MISSOURI DEPARTMENT OF TRANSPORTATION
JEFFERSON CITY, MISSOURI

WAREHOUSE RENOVATIONS PHASE II
SIDEWALK PLAN & PROFILE

800160-040
SHEET NO.
C070

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1400 Forum Boulevard, Suite 19A, Columbia, MO 65203-1997
573/442-4537 FAX: 573/442-4543

OFFICE LOCATIONS:
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Houston, TX
Iola, KS
Kansas City, MO
Lenexa, KS
Macon, MO
North Kansas City, MO
Tulsa, OK

DESIGNED BY: RW
DRAWN BY: ELM
CHECKED BY: MMH
ISSUE DATE: 1-11-10

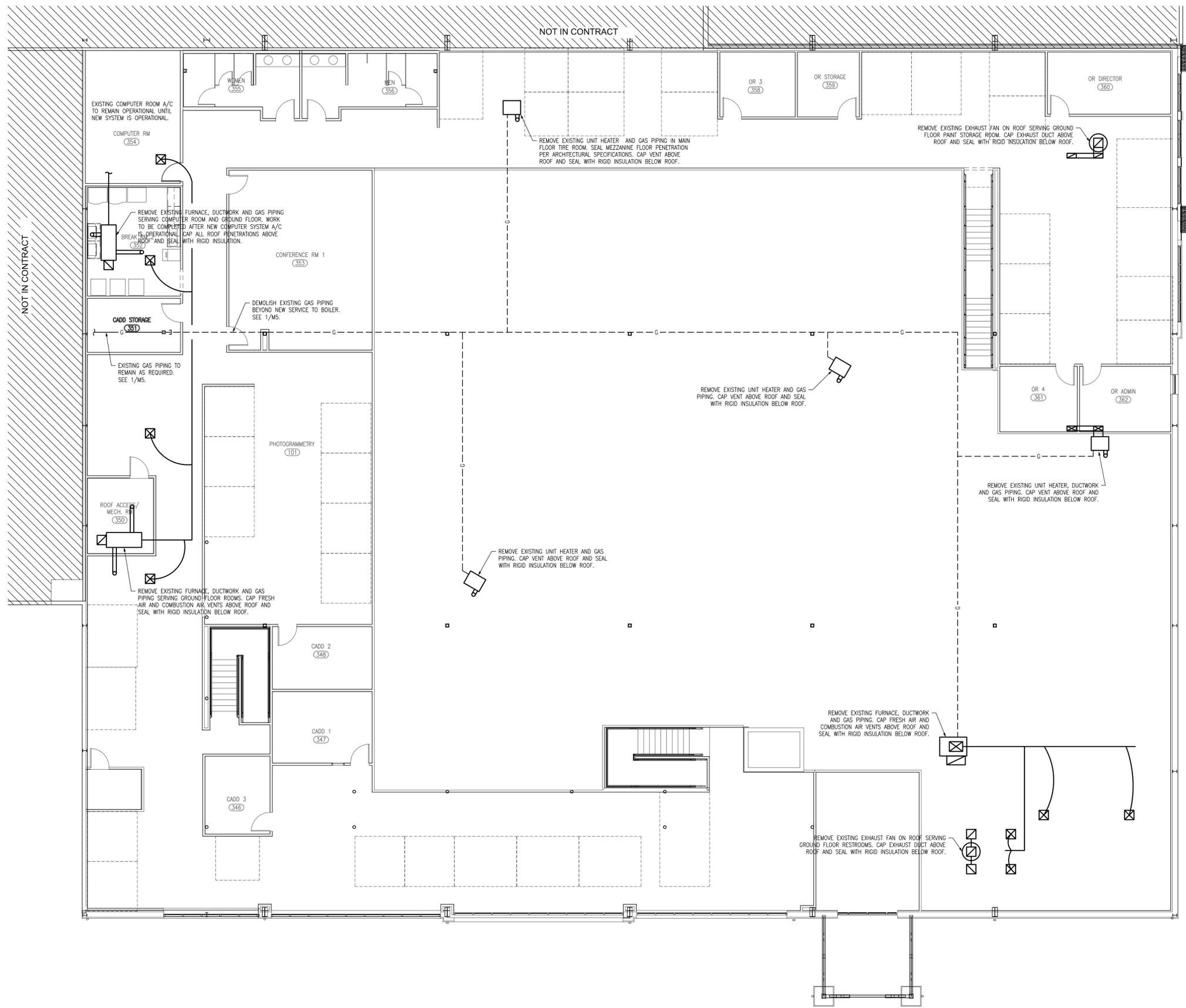
REVISIONS
NO. DATE REVISIONS BY APP'D

1 2-05-10 WARNING NOTE FIBER OPTICAL CABLE
2 1-11-10

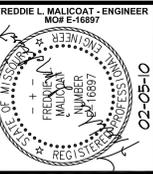
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MISSOURI CERTIFICATE OF AUTHORITY: F00138560
E-30044

GENERAL NOTES:

1. ALL ROOF PENETRATIONS TO BE CAPPED ABOVE ROOF AND RIGID INSULATION INSTALLED BELOW ROOF.
2. ALL CONDENSING UNITS AND REFRIGERANT PIPING ASSOCIATED WITH DEMOLISHED FURNACE UNITS TO BE REMOVED AND WALL OR ROOF PENETRATIONS FOR REFRIGERANT LINES TO BE PATCHED.
3. ALL REMOVED EQUIPMENT SHALL BE GIVEN TO OWNER OR DISPOSED OF AT OWNER'S DIRECTION.



1
MD1 **HVAC DEMOLITION PLAN**
SCALE: 1/8" = 1'-0" MEZZANINE



MALICOAT - WINSLOW ENGINEERS, P.C.
MISSOURI STATE CERTIFICATE OF AUTHORITY #00421
LICENSE NUMBER 16887
5649 N. CLEARVIEW ROAD
COLUMBIA, MISSOURI 65202
TEL 573-875-1300
FAX 573-875-1305
FREDDIE MALICOAT, P.E.

MODOT: RENOVATION PHASE II
830 MODOT DRIVE
JEFFERSON CITY, MO, COLE COUNTY

CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.

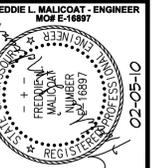
DATE : 01-11-10

REVISIONS :
Δ 02-05-10

TITLE :
MECHANICAL DEMOLITION PLAN

SHEET :
MD1
OF
MD1

PROJECT : 09138



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 FAX 573-875-1305
 FREDDIE MALICOAT, P.E.

MODOT: RENOVATION PHASE II
 830 MODOT DRIVE
 JEFFERSON CITY, MO, COLE COUNTY

CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.

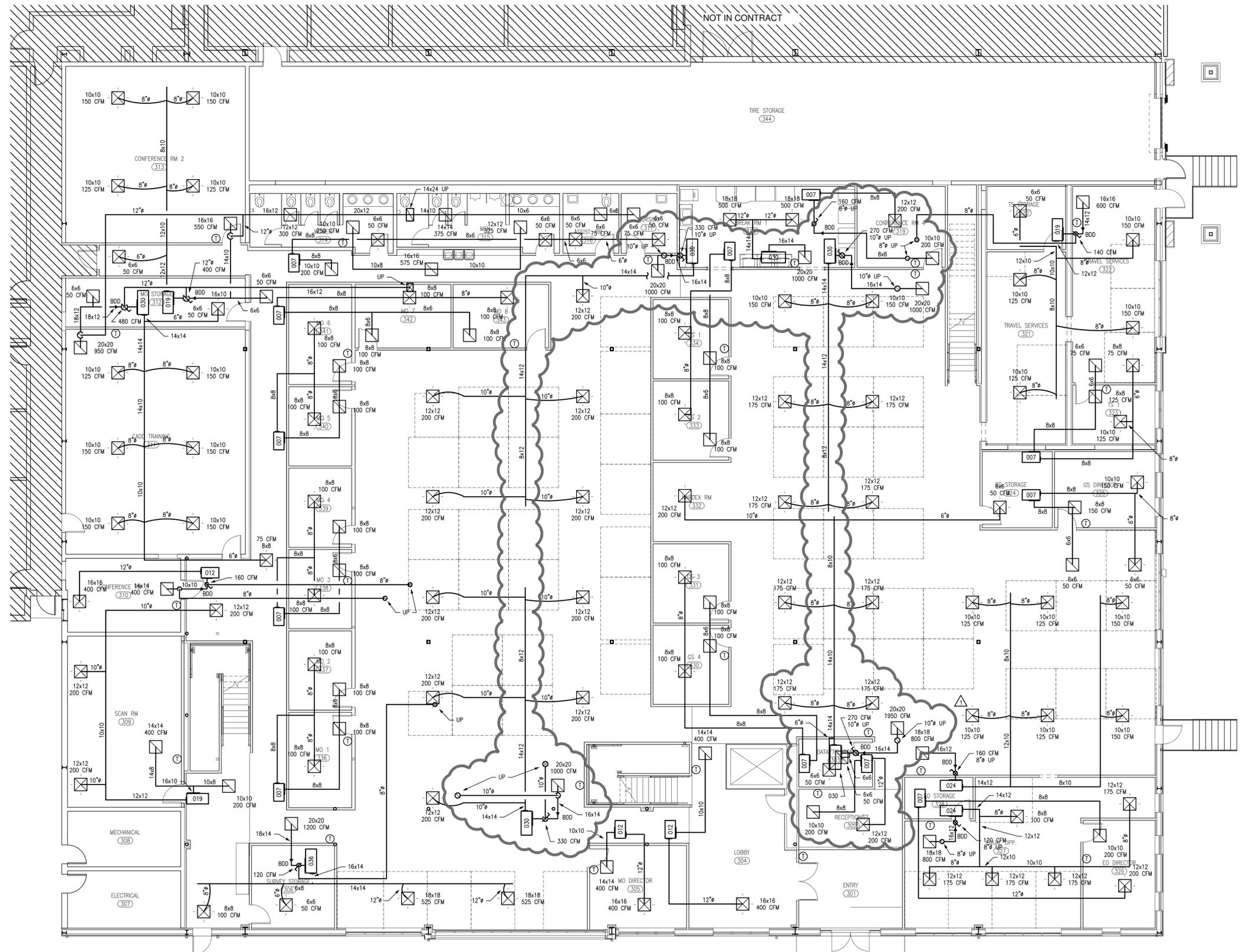
DATE: 01-11-10

REVISIONS:
 Δ 02-05-10

TITLE:
MAIN LEVEL HVAC PLAN

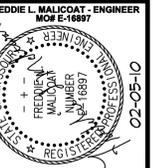
SHEET:
M3
 OF
M6

PROJECT:
 09138



1 HVAC PLAN
 SCALE: 1/8" = 1'-0"
 MAIN LEVEL

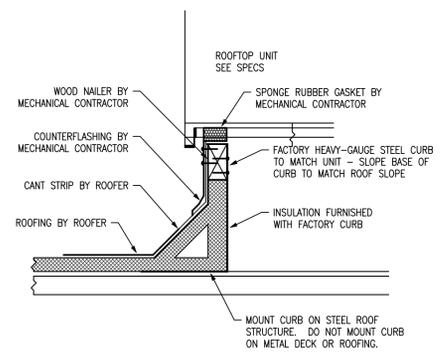
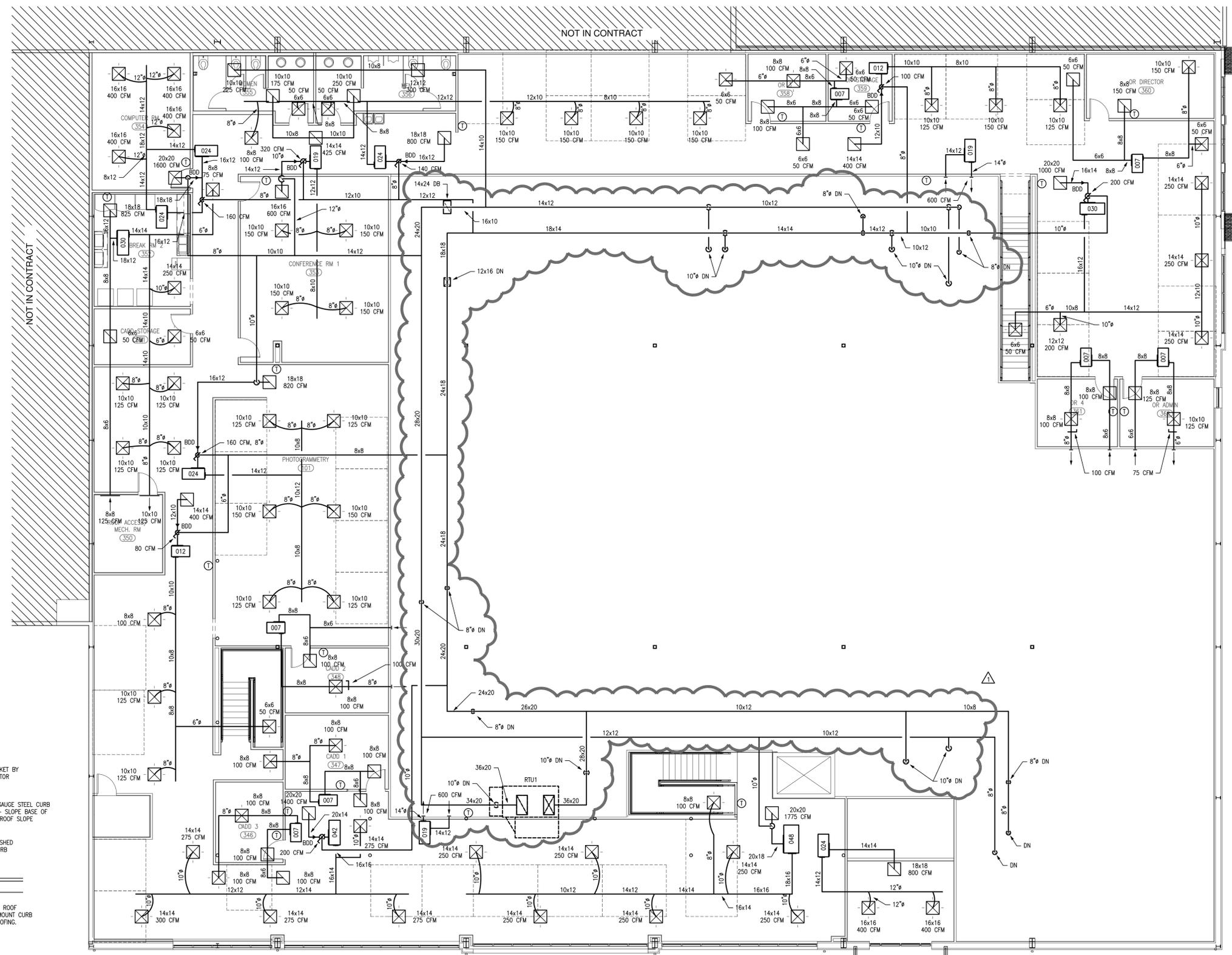
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 FREDDIE MALICOAT, P.E.

MODOT: RENOVATION PHASE II
 830 MODOT DRIVE
 JEFFERSON CITY, MO, COLE COUNTY

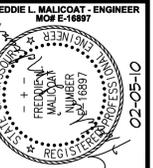
CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.
 DATE: 01-11-10
 REVISIONS:
 02-05-10
 TITLE: MEZZANINE HVAC PLAN
 SHEET: M4 OF M6
 PROJECT: 09138



2 ROOFTOP UNIT CURB
 M4 NO SCALE

1 HVAC PLAN
 M4 SCALE: 1/8" = 1'-0" MEZZANINE

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MALICOAT - WINSLOW ENGINEERS, P.C.
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 LICENSE NUMBER 16897
 REGISTERED PROFESSIONAL ENGINEER
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 FAX 573-875-1305
 FREDDIE MALICOAT, P.E.

MODOT: RENOVATION PHASE II
 830 MODOT DRIVE
 JEFFERSON CITY, MO, COLE COUNTY

CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.

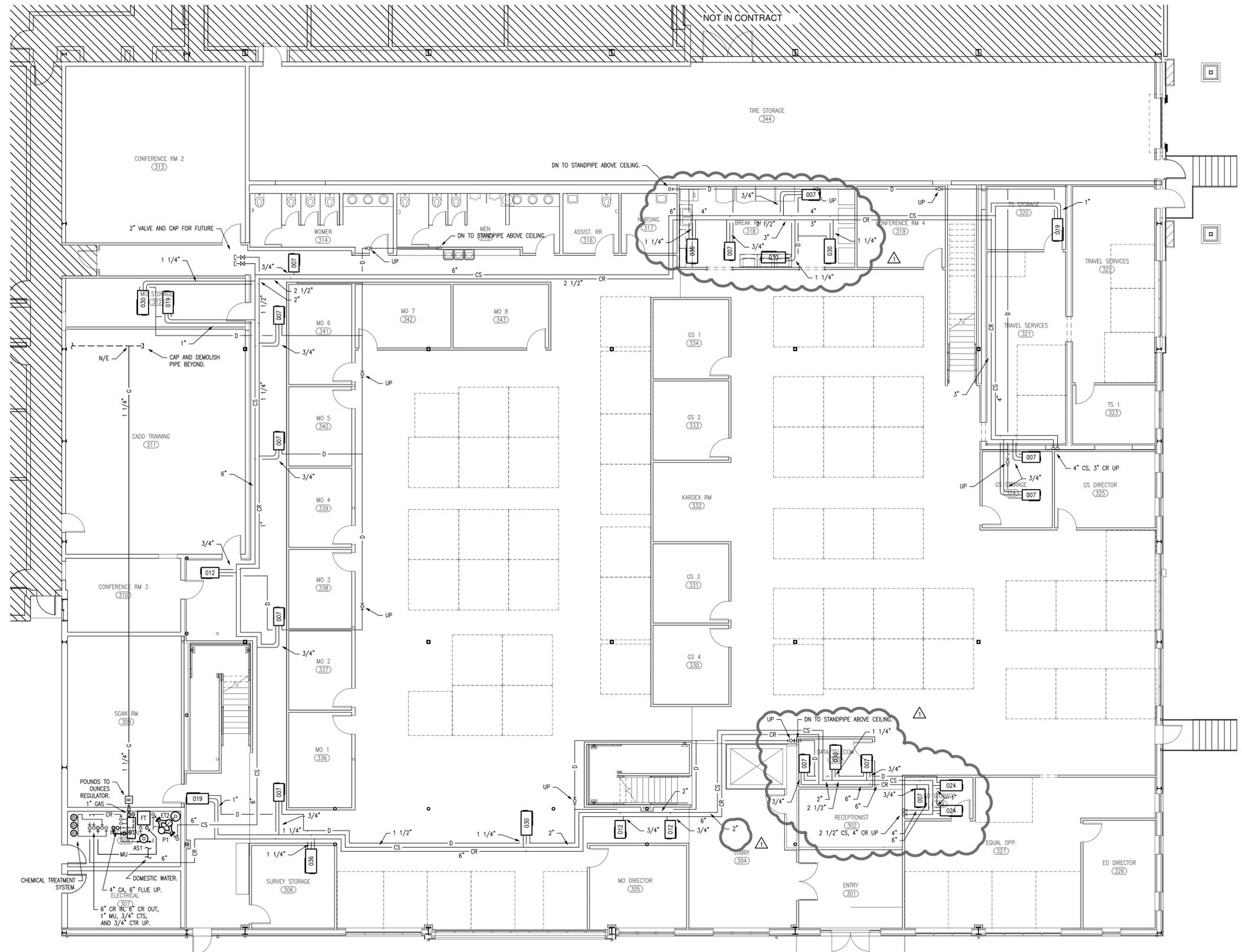
DATE: 01-11-10

REVISIONS:
 Δ 02-05-10

TITLE:
MAIN LEVEL HVAC PIPING PLAN

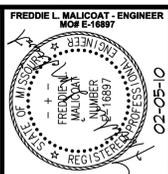
SHEET:
M5
 OF
M6

PROJECT:
09138



1
M5 **HVAC PIPING PLAN**
 SCALE: 1/8" = 1'-0" MAIN LEVEL

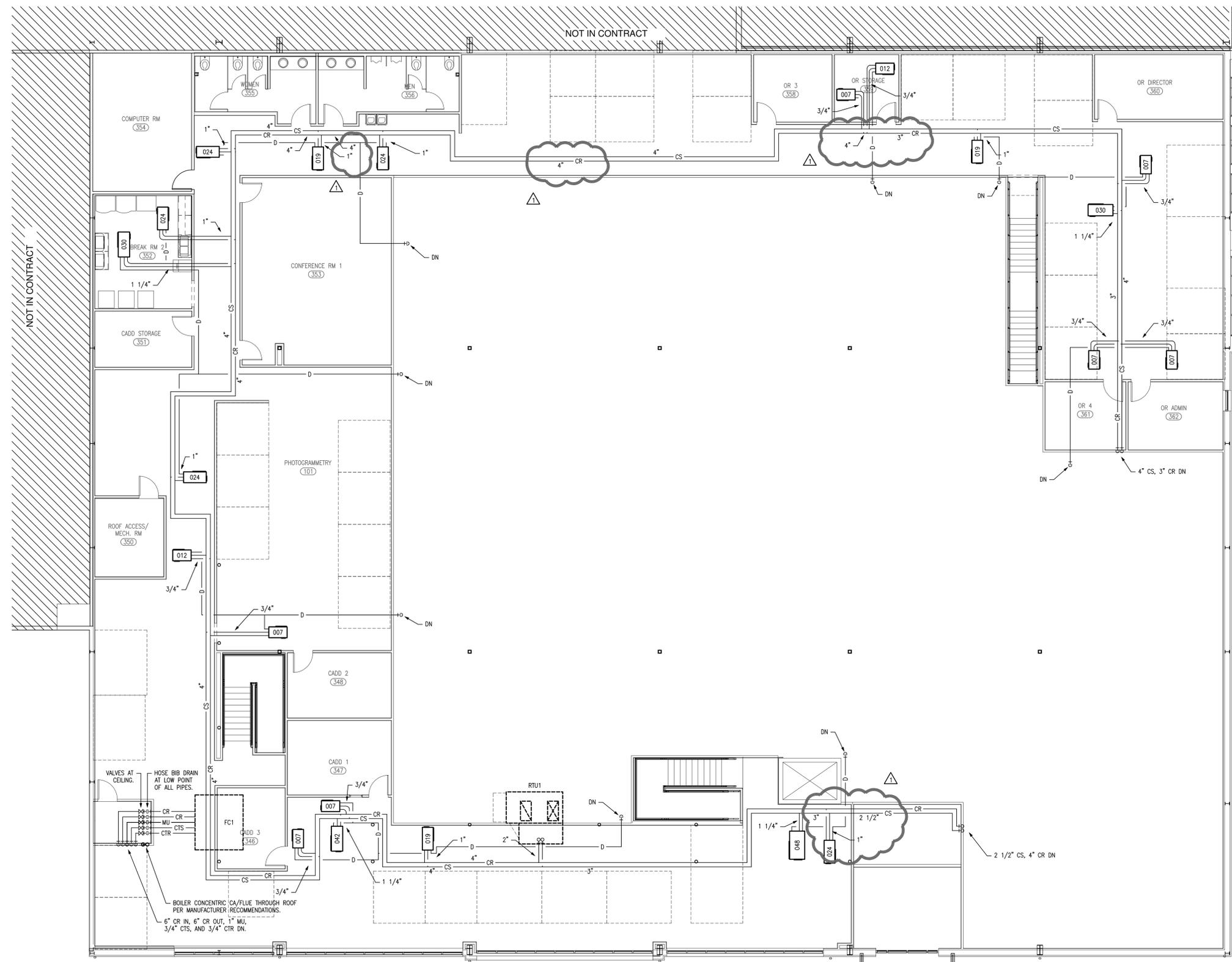
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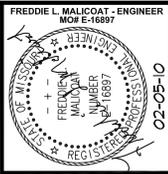
MODOT: RENOVATION PHASE II
 830 MODOT DRIVE
 JEFFERSON CITY, MO, COLE COUNTY

CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.
 DATE: 01-11-10
 REVISIONS:
 02-05-10
 TITLE: **MEZZANINE HVAC PIPING PLAN**
 SHEET: **M6**
 OF: **M6**
 PROJECT: 09138



1 HVAC PIPING PLAN
 SCALE: 1/8" = 1'-0"
 MEZZANINE

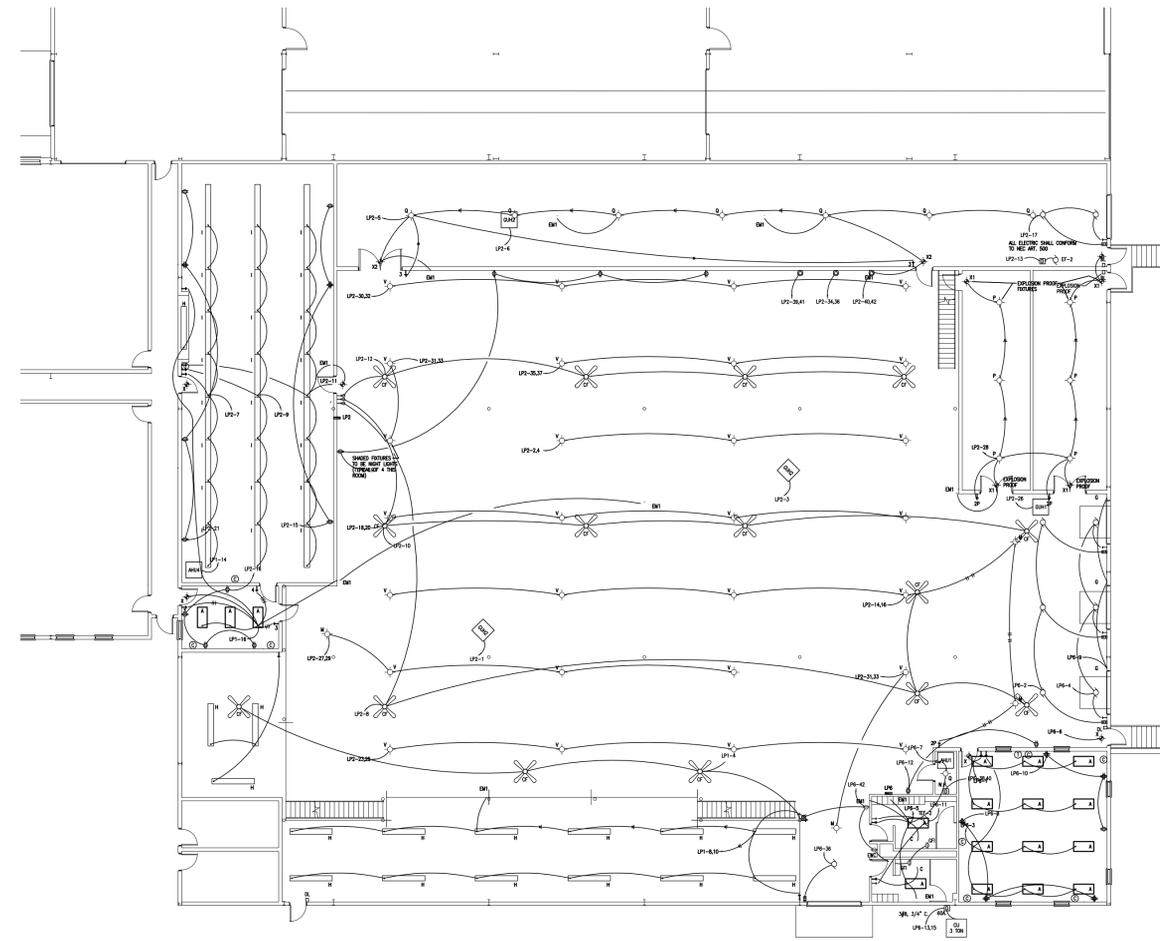
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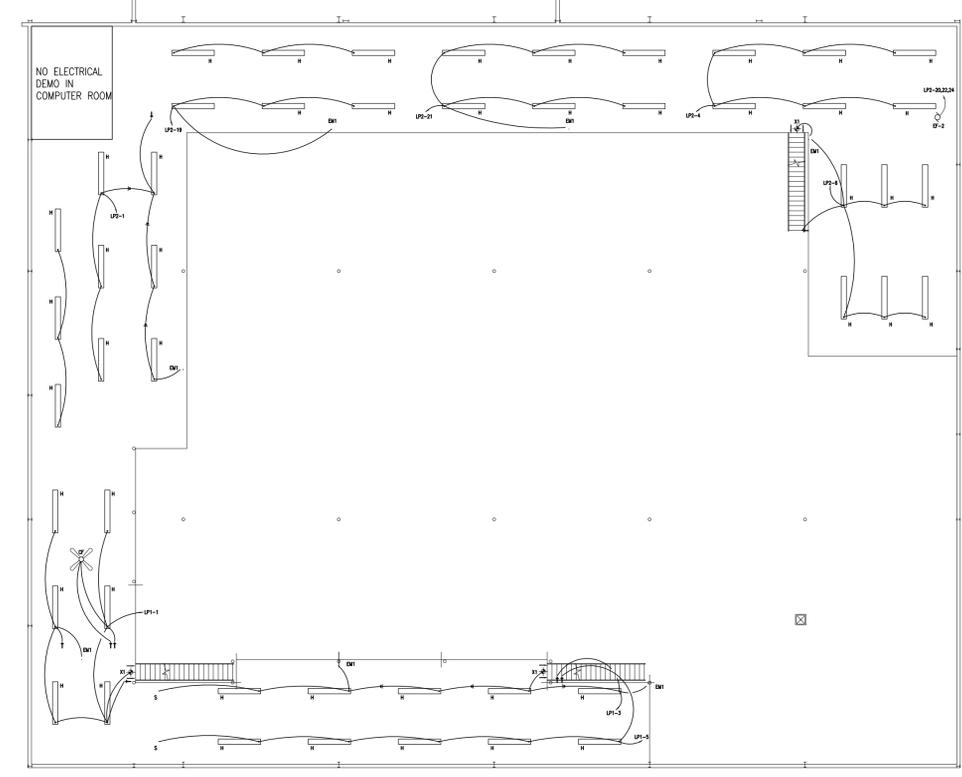
MALICOAT - WINSLOW ENGINEERS, P.C.
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 TEL 573-875-1300
 5649 N. CLEARVIEW ROAD
 COLUMBIA, MISSOURI 65202
 FAX 573-875-1305
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MODOT: RENOVATION PHASE II
 830 MODOT DRIVE
 JEFFERSON CITY, MO, COLE COUNTY

CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.
 DATE : 01-11-10
 REVISIONS :
 TITLE : **ELECTRICAL DEMOLITION PLAN**
 SHEET : **ED1**
 OF **ED1**
 PROJECT : 09138



1 ELECTRICAL DEMOLITION PLAN
 ED1 SCALE: 1/16" = 1'-0" MAIN LEVEL

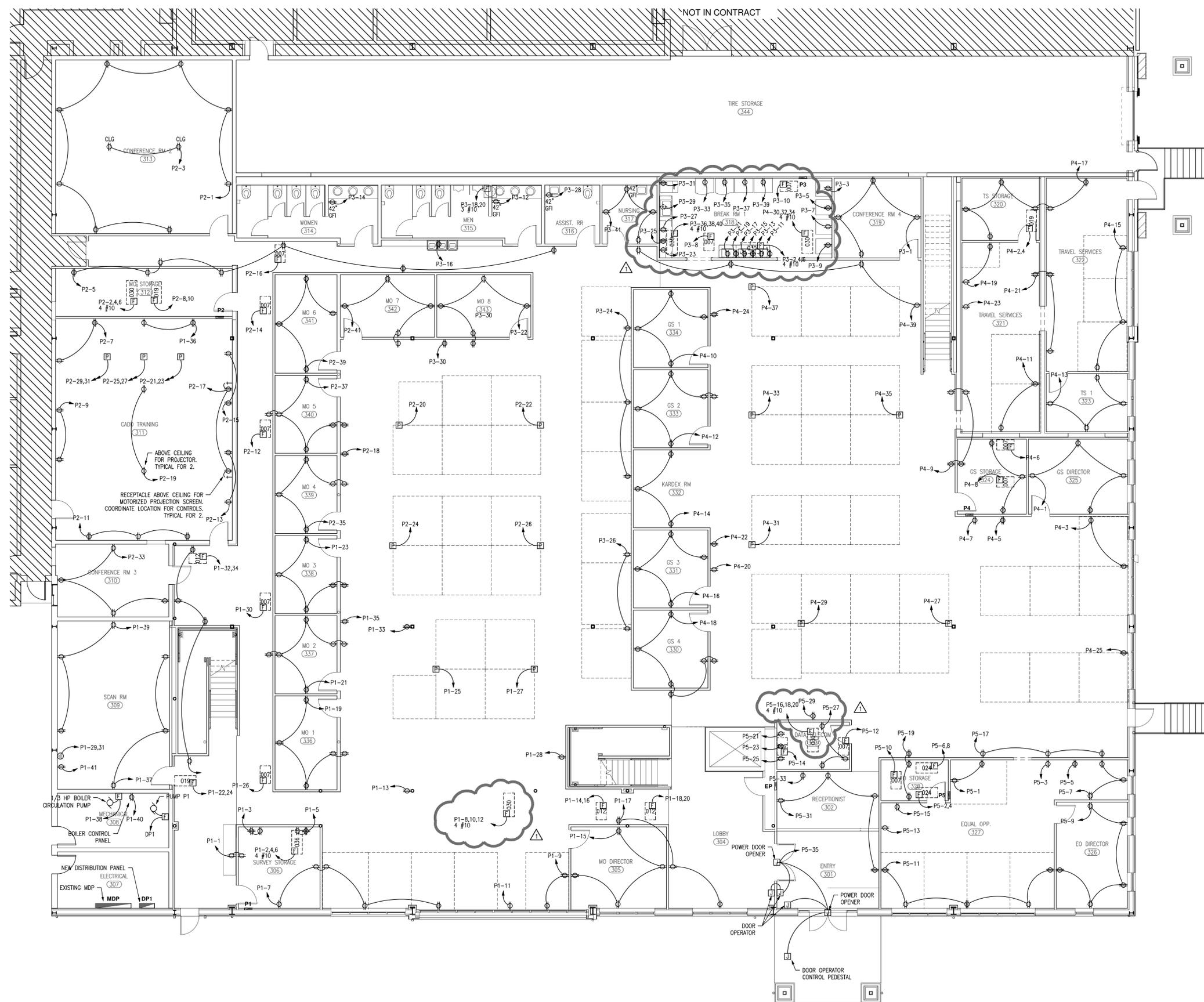


2 ELECTRICAL DEMOLITION PLAN
 ED1 SCALE: 1/16" = 1'-0" MEZZANINE

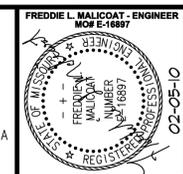
- GENERAL NOTES:**
1. REMOVE ALL UNUSED ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL SHEETS FOR ITEMS TO BE REUSED.
 2. MEZZANINE LEVEL LIGHTS TO BE REMOVED AND GIVEN TO OWNER. WIRE AND CONDUIT AT MEZZANINE CEILING TO REMAIN. CEILING FANS IN WAREHOUSE TO REMAIN.
 3. ALL REMOVED EQUIPMENT SHALL BE GIVEN TO OWNER OR DISPOSED OF AT OWNER'S DIRECTION.

GENERAL NOTES:

1. COORDINATE ALL ELECTRICAL REQUIREMENTS WITH OWNER'S EQUIPMENT PRIOR TO ROUGH-IN.



POWER PLAN
 SCALE: 1/8" = 1'-0"
 MAIN LEVEL



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 LICENSE NUMBER 1416897
 5649 N. CLEARVIEW ROAD
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 TEL 573-875-1300
 FAX 573-875-1305
 FREDDIE MALICOAT, P.E.

MODOT: RENOVATION PHASE II
 830 MODOT DRIVE
 JEFFERSON CITY, MO, COLE COUNTY

CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.

DATE: 01-11-10

REVISIONS:
 Δ 02-05-10

TITLE:
MAIN LEVEL POWER PLAN

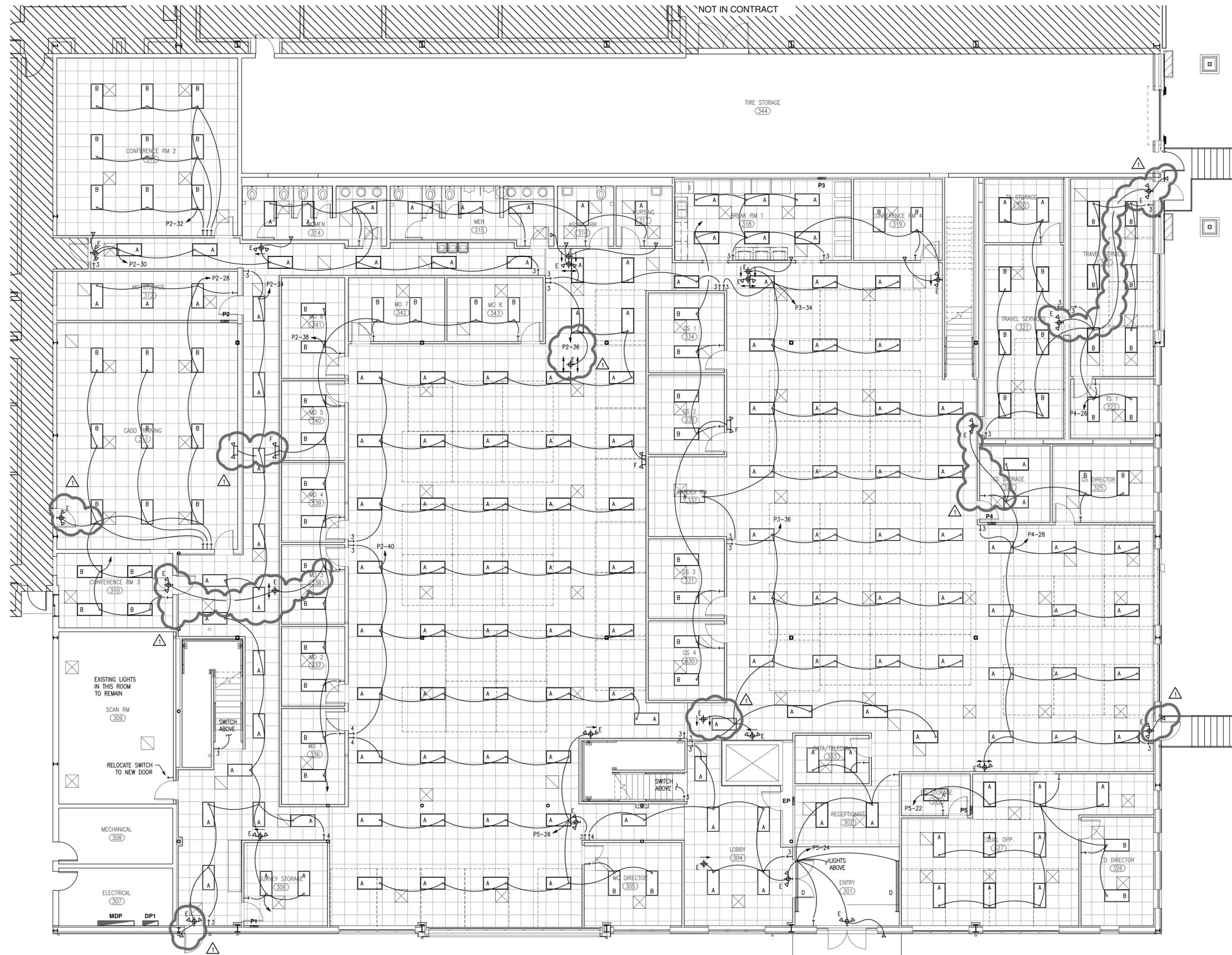
SHEET:
E1
 OF
E7

PROJECT:
09138

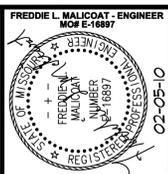
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GENERAL NOTES:

1. ALL LIGHT SWITCHES FOR INTERIOR LIGHTING SHALL BE LEVITON AGENCY MOTION DETECTION OCCUPANCY SWITCHES WITH MANUAL 'ON' OPTION.
2. 'B' FIXTURES HAVE DUAL BALLASTS FOR OPERATION OF 1, 2 OR ALL 3 LAMPS. PROVIDE SEPARATE SWITCHING FOR CENTER LAMPS AND OUTER LAMPS FOR EACH ROOM WITH 'B' FIXTURES. EXTRA SWITCHES NOT SHOWN ON PLAN.



1 LIGHTING PLAN
 E3 SCALE: 1/8" = 1'-0" MAIN LEVEL



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 MISSOURI STATE CERTIFICATE OF AUTHORITY #000421
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MODOT: RENOVATION PHASE II
 830 MODOT DRIVE
 JEFFERSON CITY, MO, COLE COUNTY

CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.

DATE: 01-11-10

REVISIONS:
 Δ 02-05-10

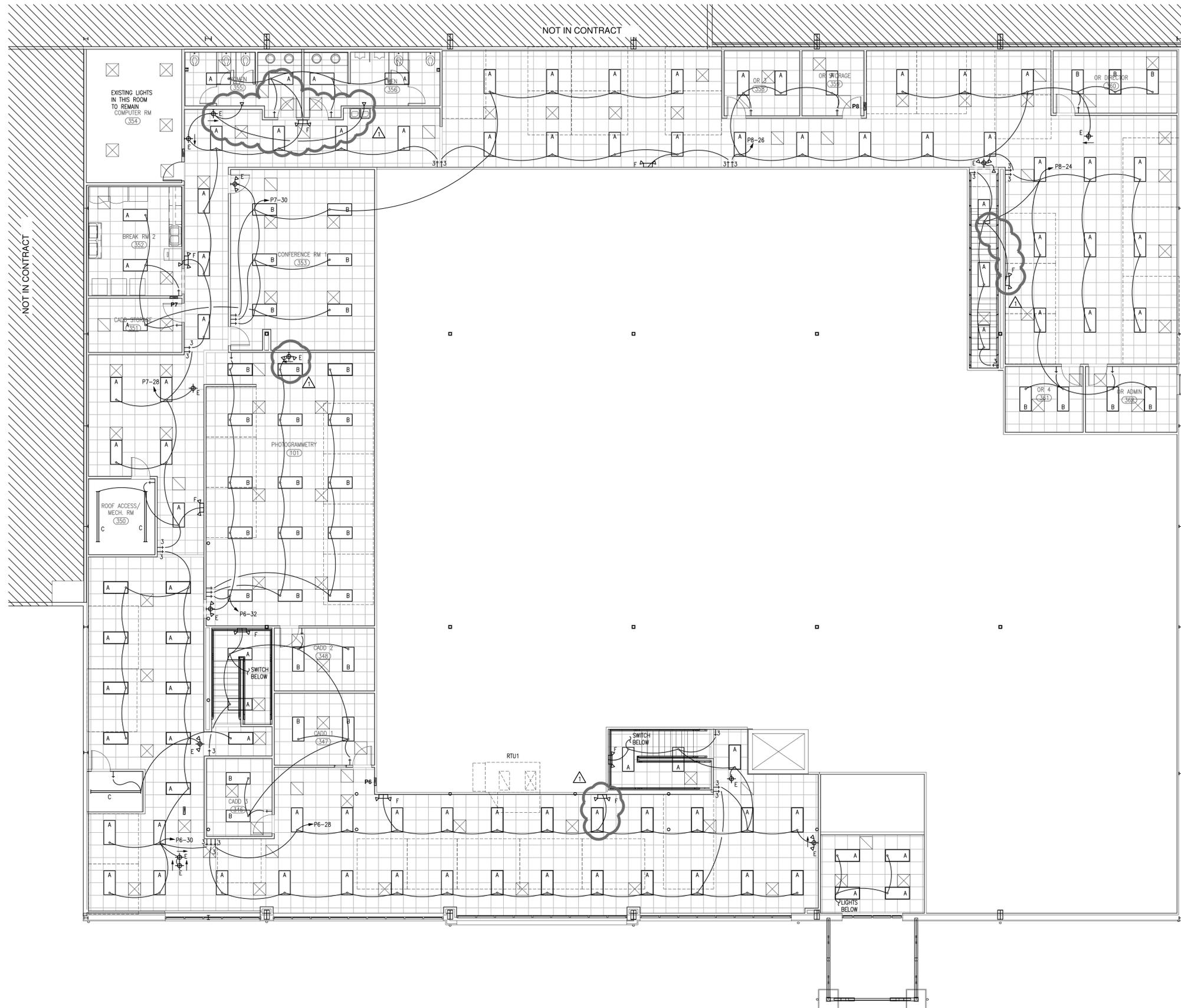
TITLE:
MAIN LEVEL LIGHTING PLAN

SHEET:
E3
 OF
E7

PROJECT: 09138

GENERAL NOTES:

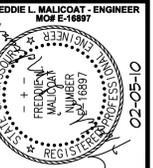
1. ALL LIGHT SWITCHES FOR INTERIOR LIGHTING SHALL BE LEVITON AGENCY MOTION DETECTION OCCUPANCY SWITCHES WITH MANUAL 'ON' OPTION.
2. 'B' FIXTURES HAVE DUAL BALLASTS FOR OPERATION OF 1, 2 OR ALL 3 LAMPS. PROVIDE SEPARATE SWITCHING FOR CENTER LAMPS AND OUTER LAMPS FOR EACH ROOM WITH 'B' FIXTURES. EXTRA SWITCHES NOT SHOWN ON PLAN.



LIGHTING PLAN

SCALE: 1/8" = 1'-0"

MEZZANINE



MALICOAT - WINSLOW ENGINEERS, P.C.

MISSOURI STATE CERTIFICATE OF AUTHORITY #000421
 5649 N. CLEARVIEW ROAD
 COLUMBIA, MISSOURI 65202
 TEL 573-875-1300
 FAX 573-875-1305
 FREDDIE MALICOAT, P.E.

MODOT: RENOVATION PHASE II

830 MODOT DRIVE
 JEFFERSON CITY, MO, COLE COUNTY

CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.

DATE: 01-11-10

REVISIONS:
 02-05-10

TITLE:
MEZZANINE LIGHTING PLAN

SHEET:
E4

PROJECT:
 09138

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P1		VOLTS	120/208	MAIN CAPACITY	225A MLO	A WATTS	11,265
		PHASE	3	BUSS MATERIAL	ALUMINUM	B WATTS	11,485
		WIRE	4	MOUNTING	RECESSED	C WATTS	10,210
						TOTAL WATTS	32,960
SURVEY STORAGE 306							
CIRC	LOCATION / DESCRIPTION	BRKR	WATTS	#	WATTS	BRKR	LOCATION / DESCRIPTION
1	SURVEY STORAGE RECEPTACLES	20-1	360	A	2320	40-3	036 HEAT PUMP
3	SURVEY STORAGE RECEPTACLES	20-1	540	B	2320	-	---
5	SURVEY STORAGE RECEPTACLES	20-1	540	C	2320	-	---
7	CUBICLE RECEPTACLES	20-1	900	A	1800	30-3	030 HEAT PUMP
9	CUBICLE RECEPTACLES	20-1	360	B	1800	-	---
11	PRINTER RECEPTACLE	20-1	180	C	1800	-	---
13	PRINTER RECEPTACLE	20-1	180	A	665	20-2	012 HEAT PUMP
15	MO DIRECTOR RECEPTACLES	20-1	720	B	665	-	---
17	LOBBY RECEPTACLES	20-1	540	C	665	20-2	012 HEAT PUMP
19	MO 1 RECEPTACLES	20-1	900	A	665	-	---
21	MO 2 RECEPTACLES	20-1	1080	B	1175	20-2	019 HEAT PUMP
23	MO 3 RECEPTACLES	20-1	900	C	1175	-	---
25	CUBICLE POWER	20-1	720	A	1190	20-1	007 HEAT PUMP
27	CUBICLE POWER	20-1	1080	B	180	20-1	PRINTER RECEPTACLE
29	SCANNER	20-2	180	C	1190	20-1	007 HEAT PUMP
31	---	---	180	A	665	20-2	012 HEAT PUMP
33	PRINTER RECEPTACLE	20-1	180	B	665	-	---
35	PRINTER RECEPTACLE	20-1	180	C	360	20-1	CADD TRAINING RECEPTACLE
37	SCAN ROOM	20-1	540	A	180	20-1	BOILER CIRC PUMP
39	SCAN ROOM	20-1	540	B	180	20-1	BOILER CONTROL PANEL
41	SCANNER	20-1	180	C	0	20-1	SPARE

P2		VOLTS	120/208	MAIN CAPACITY	225A MLO	A WATTS	14,065
		PHASE	3	BUSS MATERIAL	ALUMINUM	B WATTS	13,525
		WIRE	4	MOUNTING	RECESSED	C WATTS	11,990
						TOTAL WATTS	39,580
MO STORAGE 312							
CIRC	LOCATION / DESCRIPTION	BRKR	WATTS	#	WATTS	BRKR	LOCATION / DESCRIPTION
1	CONFERENCE RECEPTACLES	20-1	1440	A	1800	30-3	030 HEAT PUMP
3	CONFERENCE RECEPTACLES	---	360	B	1800	-	---
5	HALL RECEPTACLES	20-1	1260	C	1800	-	---
7	CADD TRAINING RECEPTACLES	20-1	360	A	1175	20-2	019 HEAT PUMP
9	CADD TRAINING RECEPTACLES	---	360	B	1175	-	---
11	CADD TRAINING RECEPTACLES	---	540	C	1190	20-1	007 HEAT PUMP
13	CADD TRAINING RECEPTACLES	---	360	A	1190	20-1	007 HEAT PUMP
15	CADD TRAINING RECEPTACLES	---	360	B	1190	20-1	007 HEAT PUMP
17	CADD TRAINING RECEPTACLES	---	360	C	180	20-1	PRINTER RECEPTACLE
19	CADD TRAINING RECEPTACLES	---	360	A	1080	20-1	CUBICLE POWER
21	CADD TRAINING POWER POLE	---	720	B	1080	20-1	CUBICLE POWER
23	CADD TRAINING POWER POLE	---	720	C	1080	20-1	CUBICLE POWER
25	CADD TRAINING POWER POLE	---	720	A	1080	20-1	CUBICLE POWER
27	CADD TRAINING POWER POLE	---	720	B	1440	20-1	LIGHTS
29	CADD TRAINING POWER POLE	---	720	C	810	20-1	LIGHTS
31	CADD TRAINING POWER POLE	---	720	A	1260	20-1	LIGHTS
33	CONFERENCE ROOM RECEPTACLES	20-1	720	B	1440	20-1	LIGHTS
35	MO 4 RECEPTACLES	---	900	C	1530	20-1	LIGHTS
37	MO 5 RECEPTACLES	---	1080	A	1440	20-1	LIGHTS
39	MO 6 RECEPTACLES	---	720	B	1440	20-1	LIGHTS
41	MO 7 RECEPTACLES	---	900	C	0	20-1	SPARE

P3		VOLTS	120/208	MAIN CAPACITY	225A MLO	A WATTS	15,370
		PHASE	3	BUSS MATERIAL	ALUMINUM	B WATTS	11,990
		WIRE	4	MOUNTING	RECESSED	C WATTS	12,870
						TOTAL WATTS	40,230
BREAK RM 318							
CIRC	LOCATION / DESCRIPTION	BRKR	WATTS	#	WATTS	BRKR	LOCATION / DESCRIPTION
1	CONFERENCE ROOM RECEPTACLES	20-1	720	A	1800	30-3	030 HEAT PUMP
3	REFRIGERATOR	20-1	500	B	1800	-	---
5	REFRIGERATOR	20-1	500	C	1800	-	---
7	REFRIGERATOR	20-1	500	A	1190	20-1	007 HEAT PUMP
9	REFRIGERATOR	20-1	500	B	1190	20-1	007 HEAT PUMP
11	MICROWAVE	20-1	1000	C	180	20-1	MENS ROOM RECEPTACLE
13	MICROWAVE	20-1	1000	A	180	20-1	WOMENS ROOM RECEPTACLE
15	MICROWAVE	20-1	1000	B	500	20-1	WATER COOLER RECEPTACLE
17	MICROWAVE	20-1	1000	C	2250	30-2	WATER HEATER
19	MICROWAVE	20-1	1000	A	2250	---	---
21	MICROWAVE	20-1	1000	B	900	20-1	MO 8 RECEPTACLES
23	COFFEE MACHINE RECEPTACLE	20-1	1000	C	1440	20-1	CUBICLE RECEPTACLES
25	COFFEE MACHINE RECEPTACLE	20-1	1000	A	1080	20-1	CUBICLE RECEPTACLES
27	BREAK ROOM COUNTER RECEPT	20-1	180	B	180	20-1	ASSIST RR RECEPTACLE
29	BREAK ROOM DISPOSAL	20-1	500	C	180	20-1	PRINTER RECEPTACLE
31	BREAK ROOM ICE MACHINE	20-1	1000	A	1350	20-1	LIGHTS
33	VENDING MACHINE	20-1	500	B	1440	20-1	LIGHTS
35	VENDING MACHINE	20-1	500	C	1800	30-3	030 HEAT PUMP
37	VENDING MACHINE	20-1	500	A	1800	-	---
39	VENDING MACHINE	20-1	500	B	1800	-	---
41	NURSING RECEPTACLES	20-1	720	C	0	20-1	SPARE

P4		VOLTS	120/208	MAIN CAPACITY	225A MLO	A WATTS	11,545
		PHASE	3	BUSS MATERIAL	ALUMINUM	B WATTS	11,435
		WIRE	4	MOUNTING	RECESSED	C WATTS	9,110
						TOTAL WATTS	32,090
GS STORAGE 324							
CIRC	LOCATION / DESCRIPTION	BRKR	WATTS	#	WATTS	BRKR	LOCATION / DESCRIPTION
1	GS DIRECTOR RECEPTACLES	20-1	720	A	1175	20-2	019 HEAT PUMP
3	CUBICLE RECEPTACLES	20-1	720	B	1175	-	---
5	PRINTER RECEPTACLE	20-1	180	C	1190	20-1	007 HEAT PUMP
7	PRINTER RECEPTACLE	20-1	180	A	1190	20-1	007 HEAT PUMP
9	TRAVEL SERVICES RECEPTACLES	20-1	720	B	720	20-1	GS 1 RECEPTACLES
11	TRAVEL SERVICES RECEPTACLES	20-1	360	C	900	20-1	GS 2 RECEPTACLES
13	TS 1 RECEPTACLES	20-1	720	A	540	20-1	KARDEX RM RECEPTACLES
15	TRAVEL SERVICES RECEPTACLES	20-1	540	B	720	20-1	GS 3 RECEPTACLES
17	TRAVEL SERVICES RECEPTACLES	20-1	1080	C	1080	20-1	GS 4 RECEPTACLES
19	TRAVEL SERVICES RECEPTACLES	20-1	360	A	180	20-1	GS PRINTER
21	TRAVEL SERVICES RECEPTACLES	20-1	540	B	180	20-1	GS PRINTER
23	TRAVEL SERVICES PRINTER	20-1	180	C	180	20-1	GS PRINTER
25	CUBICLE RECEPTACLES	20-1	1080	A	1440	20-1	LIGHTS
27	CUBICLE RECEPTACLES	20-1	1080	B	1440	20-1	LIGHTS
29	CUBICLE RECEPTACLES	20-1	1080	C	1800	30-3	030 HEAT PUMP
31	CUBICLE RECEPTACLES	20-1	1080	A	1800	-	---
33	CUBICLE RECEPTACLES	20-1	1080	B	1800	-	---
35	CUBICLE RECEPTACLES	20-1	1080	C	0	20-1	SPARE
37	CUBICLE RECEPTACLES	20-1	1080	A	0	20-1	SPARE
39	RECEPTACLES	20-1	720	B	0	20-1	SPARE
41	SPARE	20-1	0	C	0	20-1	SPARE

P5		VOLTS	120/208	MAIN CAPACITY	225A MLO	A WATTS	10,150
		PHASE	3	BUSS MATERIAL	ALUMINUM	B WATTS	8,330
		WIRE	4	MOUNTING	RECESSED	C WATTS	10,050
						TOTAL WATTS	28,530
EO STORAGE 328							
CIRC	LOCATION / DESCRIPTION	BRKR	WATTS	#	WATTS	BRKR	LOCATION / DESCRIPTION
1	EQUAL OPP. RECEPTACLES	20-1	360	A	1280	20-2	024 HEAT PUMP
3	EQUAL OPP. PRINTER	20-1	180	B	1280	-	---
5	EQUAL OPP. PRINTER	20-1	180	C	1280	20-2	024 HEAT PUMP
7	EQUAL OPP. RECEPTACLES	20-1	540	A	1280	-	---
9	EO DIRECTOR RECEPTACLES	20-1	900	B	1190	20-1	007 HEAT PUMP
11	EQUAL OPP. RECEPTACLES	20-1	1440	C	1190	20-1	007 HEAT PUMP
13	EQUAL OPP. PRINTER	20-1	180	A	1190	20-1	007 HEAT PUMP
15	EQUAL OPP. PRINTER	20-1	180	B	1800	30-3	030 HEAT PUMP
17	RECEPTACLES	20-1	540	C	1800	-	---
19	RECEPTACLES	20-1	540	A	1800	-	---
21	DATA ROOM RECEPTACLES	20-1	1000	B	1080	20-1	LIGHTS
23	DATA ROOM RECEPTACLES	20-1	1000	C	1440	20-1	LIGHTS
25	DATA ROOM RECEPTACLES	20-1	1000	A	1260	20-1	LIGHTS
27	DATA ROOM RECEPTACLES	20-1	540	B	0	20-1	SPARE
29	DATA ROOM PRINTER	20-1	180	C	0	20-1	SPARE
31	RECEPTIONIST RECEPTACLES	20-1	720	A	0	20-1	SPARE
33	RECEPTIONIST PRINTER	20-1	180	B	0	20-1	SPARE
35	ENTRY DOOR POWER	20-1	1000	C	0	20-1	SPARE
37	SPARE	20-1	0	A	0	20-1	SPARE
39	SPARE	20-1	0	B	0	20-1	SPARE
41	SPARE	20-1	0	C	0	20-1	SPARE

P6		VOLTS	120/208	MAIN CAPACITY	225A MLO	A WATTS	15,130
		PHASE	3	BUSS MATERIAL	ALUMINUM	B WATTS	12,065
		WIRE	4	MOUNTING	RECESSED	C WATTS	12,860
						TOTAL WATTS	40,055
CADD STORAGE 351							
CIRC	LOCATION / DESCRIPTION	BRKR	WATTS	#	WATTS	BRKR	LOCATION / DESCRIPTION
1	CADD 1 RECEPTACLES	20-1	720	A	2560	40-3	048 HEAT PUMP
3	CADD 2 RECEPTACLES	20-1	720	B	2560	-	---
5	CADD 3 RECEPTACLES	20-1	720	C	2560	-	---
7	CADD RECEPTACLES	20-1	540	A	1280	20-2	024 HEAT PUMP
9	CADD PRINTER RECEPTACLE	20-1	180	B	1280	-	---
11	CADD RECEPTACLES	20-1	900	C	1190	20-1	007 HEAT PUMP
13	CADD RECEPTACLES	20-1	360	A	2715	50-3	042 HEAT PUMP
15	CUBICLE POWER POLE	20-1	1080	B	2715	-	---
17	CUBICLE POWER POLE	20-1	720	C	2715	-	---
19	CADD RECEPTACLES	20-1	720	A	1190	20-1	007 HEAT PUMP
21	CADD PRINTER RECEPTACLE	20-1	180	B	1190	20-1	007 HEAT PUMP
23	CADD PRINTER RECEPTACLE	20-1	180	C	1175	20-2	019 HEAT PUMP
25	CADD RECEPTACLES	20-1	720	A	1175	-	---
27	CADD RECEPTACLES	20-1	720	B	1260	20-1	LIGHTS
29	PHOTOGRAMMETRY RECEPTACLES	20-1	720	C	1440	20-1	LIGHTS
31	PHOTOGRAMMETRY RECEPTACLES	20-1	540	A	1350	20-1	LIGHTS
33	BREAK ROOM ICE MACHINE	20-1	1000	B	0	20-1	SPARE
35	PHOTOGRAMMETRY RECEPTACLES	20-1	540	C	0	20-1	SPARE
37	RECEPTACLES	20-1	1260	A	0	20-1	SPARE
39	SPARE	20-1	0	B	0	20-1	SPARE